



# REPORT TO PLANNING & ZONING COMMISSION

## CITY OF MARYLAND HEIGHTS

**APPLICATION NUMBER:** PDP23-0005

**APPLICATION (PROJECT) NAME:** AIR PRODUCTS & CHEMICALS

**APPLICANT:** Air Products & Chemicals, Inc.  
1940 Air Products Blvd., Allentown, PA 18106

**PROPERTY OWNER NAME:** Air Products & Chemicals, Inc.  
1940 Air Products Blvd., Allentown, PA 18106

**APPLICANT'S REQUEST:** Rezoning from "M-1" Office, Service, and Light Manufacturing District to "PD-M" Planned District—Manufacturing and amendments to Planned District Ordinance 2018-4343

**SITE LOCATION:** Southwest corner of Lackland Road and Westport Center Drive, south of Page Avenue (State Highway D)

**ADDRESS:** 11436-11606 Lackland Road

**PARCEL/LOCATOR NUMBERS:** 15N520156 and 15N520167

**EXISTING ZONING DISTRICTS:** "M-1" Office, Service, and Light Manufacturing District  
"PDM" Planned District—Manufacturing

**TOTAL SITE AREA:** 9.11 acres

**PUBLIC HEARING DATES:** July 25, 2023 and August 8, 2023

**REPORT DATE:** August 2, 2023

**CASE MANAGER:** Michael Zeek, AICP

**RECOMMENDATION** **APPROVAL**

# REPORT TO PLANNING & ZONING COMMISSION



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### DESCRIPTION OF EXISTING SITE CONDITIONS

The subject site is located at the southwest corner of Lackland Road and Westport Center Drive, south of Page Avenue (State Highway D). The western 7.79 acre parcel (15N520156) is home to the *Air Products & Chemicals* manufacturing facility and associated parking. According to the County Assessor, the existing structures on site were constructed in 1965, 1984, and 1996. The southern portion of 15N520156 is vacant. The eastern 1.32 acre parcel (15N520167) is also vacant.



REFER TO FIGURE 1

### NEIGHBORHOOD CONDITIONS/LAND USE

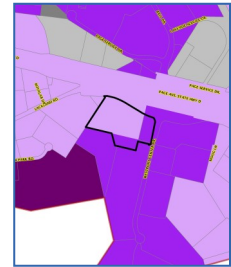
North of the site, across Page Avenue, are the Shoppes at Lakeside Crossing. East of the site, across Westport Center Drive, is a multi-story office building (*Equifax*). To the south and southeast are office/warehouse uses. West of the site is a single-family dwelling on a large lot, a pre-existing nonconforming use in the “M-1” Office, Service, and Light Manufacturing District. Further southwest is the *Safety National* office campus.



REFER TO FIGURE 2

### ZONING CONTEXT

The vacant portions of the site lie within the Westport Center Planned District (“PDM”), governed by Ordinance 2018-4343. The developed portion of the site is zoned “M-1” Office, Service, and Light Manufacturing District. The Shoppes at Lakeside Crossing, to the north across Page Avenue, are also zoned “PDM”. Other properties in the vicinity are zoned “M-1”.



REFER TO FIGURE 3

### REFER TO APPENDIX A —SUPPLEMENTAL MAPS AND EXHIBITS



#### EXISTING CONDITIONS MATRIX

DIRECTION	EXISTING LAND USE	ZONING DISTRICT	COMMENTS
North	Shoppes at Lakeside Crossing	“PDM”	Across Page Avenue
East	Office	“PDM”	Across Westport Center Drive
South	Office/warehouse uses	“PDM”	Located in Westport Center Planned District
West	Single-family dwelling	“M-1”	Pre-existing nonconforming use



# REPORT TO PLANNING & ZONING COMMISSION

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### ZONING REQUEST

*Air Products & Chemicals, Inc.* is an American international corporation whose principal business is selling gases and chemicals for industrial uses. At this location, they manufacture and distribute air separation membranes. These membranes are used in a variety of applications. For example, air separation membranes are used to remove oxygen from air before backfilling commercial airliner fuel tanks, minimizing the risk of an accidental explosion. *Air Products* seeks to undergo a major expansion at their St. Louis campus including:

- A 24,000 square foot warehouse addition,
- A new two-story 43,000 square foot manufacturing facility, and
- A new two-story 27,000 square foot innovation facility

The location of the proposed structures is shown on the Preliminary Development Plan included in the appendix of this report. The intent is to complete the warehouse addition in 2024, the manufacturing facility in 2025, and the innovation facility in 2027.

To provide sufficient area for the expansion, *Air Products* has acquired the 1.32 acre parcel at the southwest corner of Lackland Road and Westport Center Drive. This parcel was zoned for the development of a fast food restaurant with drive-through (*Wicked Greens*) in 2018, but the restaurant was never constructed and the site remains vacant. *Air Products* requests a rezoning from “M-1” Office, Service, and Light Manufacturing District to “PDM” Planned District–Manufacturing to allow the flexibility to allow multiple buildings within their campus and to facilitate the proposed expansion. In conjunction, the Westport Center Planned District Ordinance (2018-4343) will need to be amended to remove the 1.32 acre tract and the southern portion of parcel 15N520156.

### PREVIOUS PLANNING COMMISSION ACTION

A public hearing on the Conceptual Development Plan was held on July 25, 2023. The Planning Commission agreed with the City Planner’s findings that the project is consistent with the Comprehensive Plan. At their August 8, 2023 meeting, the Commission is expected to adopt Resolution 2023-10, affirming their approval of the Conceptual Development Plan. The resolution contains the following findings:

1. *The proposed development is consistent with the Comprehensive Plan.*
2. *The proposed development is consistent with the intent of Planned Districts.*
3. *The proposed development is consistent with the parking regulations of the Zoning Code.*

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# REPORT TO PLANNING & ZONING COMMISSION

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## CITY OF MARYLAND HEIGHTS

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### ANALYSIS

The next step in the Planned District process is the review and approval of a Preliminary Development Plan. The purpose of this step is to consider additional information to determine consistency with the Zoning Code and to draft an ordinance for consideration by the Planning Commission and City Council. The draft ordinance contains provisions to guide the future development and use of the site. As the appropriateness of the project at this location was already determined during the Conceptual Development Plan stage, this report will concentrate on more notable requirements of the draft ordinance. In this case, staff prepared two draft ordinances. One amends the Westport Center Planned District to remove the subject parcels and the other enacts a Planned District on the subject parcels to govern *Air Products & Chemicals*.

### PERMITTED USES

The draft ordinance allows all permitted uses in the “M-1” Office, Service, and Light Manufacturing District as well as the manufacturing uses specific to *Air Products & Chemicals* including Navigational, Measuring, Electromedical, and Control Instruments Manufacturing; Artificial and Synthetic Fibers and Filaments Manufacturing; and Industrial Gas Manufacturing, specializing in gas separation/purification equipment at this location.

### PLAN SUBMITTAL REQUIREMENTS

The draft ordinance includes requirements for review and approval of a Final Development Plan in accordance with the Zoning Code. The Final Development Plan is subject to the review and approval of the City Planner rather than the Planning Commission or City Council. Site Improvement Plans (construction documents) are required prior to issuance of building permits. Formal approval of agencies such as the Creve Coeur Fire Protection District, Metropolitan St. Louis Sewer District (MSD), and Missouri Department of Transportation (MoDOT) are required prior to approval of the Site Improvement Plans.

### ACCESS

Access from Lackland Road is subject to the review and approval of MoDOT who holds jurisdiction over the roadway. At the time of this report’s publication, they are scheduled to review the proposed entrance relocation for sight distance considerations. Access from Westport Center Drive is subject to the review and approval of the City Engineer. The Preliminary Development Plan does not propose any new access from Westport Center Drive, instead utilizing the existing entrance.

### BUILDING DESIGN

The draft ordinance requires buildings to satisfy the Building Design Standards of the Zoning Code, but requires that the buildings be generally consistent with the elevations included in this report. If substantial deviations from those elevations are proposed, the review and approval of the Planning Commission is required.

### SIGNS

The draft ordinance requires signs to satisfy the Sign Regulations of the Zoning Code. However, the developer has the option of submitting a Sign Package for the review and approval of the City Planner, rather than the Planning Commission, should additional flexibility be needed. If the Planning Commission is uncomfortable with this approach, the condition could be revised to require their approval instead.

### LANDSCAPING

As the project involves additions/expansions, the landscaping plan included with the Preliminary Development Plan calculates the required number of points based on new parking spaces and lineal feet of new building perimeter. A total of 241 points are required and the plan provides 158 (66%). However, the plan includes 80 trees and 175 shrubs as well as perennials and native grasses. Staff is of the opinion that the landscaping provided is sufficient to satisfy the purpose and intent of the landscaping design standards. It is also worth noting that the plan shows the retention of numerous mature trees. Tree



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# **REPORT TO PLANNING & ZONING COMMISSION**

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## **CITY OF MARYLAND HEIGHTS**

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retention is not included in the point calculation for additions/expansions, but if it was, these trees would provide over 200 points. The draft ordinance requires that landscaping be generally consistent with that shown on the plan included in this report but gives the City Planner the authority to grant further reductions in plant material to provide amenities such as outdoor seating areas and walking trails.

### **SCREENING**

The draft ordinance requires dumpsters and generators to be screened if visible from adjoining streets. It also allows the existing outdoor storage of materials to the west and south of the building. This outdoor storage is minimal and is not detrimental to the viewshed given its distance from adjoining roadways and the existing screening in place.

### **OTHER REQUIREMENTS**

The draft ordinance requires parking, new exterior lighting, and environmental standards to conform with the Zoning Code. Stormwater management and sanitary sewers are subject to the review and approval of MSD. Storage and use of industrial gases or other potentially hazardous materials are subject to the review and approval of the Creve Coeur Fire Protection District and the Building Commissioner.

# REPORT TO PLANNING & ZONING COMMISSION

## CITY OF MARYLAND HEIGHTS



### OVERALL FINDINGS AND RECOMMENDATION

#### FINDINGS

- a. The proposed plan is in substantial conformance with the approved Conceptual Development Plan;
- b. The proposed plan is in substantial compliance with the policies of the Comprehensive Plan;
- c. The proposed plan is in the interest of the public health, safety, and welfare by allowing the existing manufacturing facility to expand in a campus setting, creating quality jobs while controlling potential adverse impacts;
- d. The plan meets the standards and intent of all regulations regarding public facilities and public spaces;
- e. The proposed plan meets the criteria of all land use categories proposed under the plan; and
- f. The proposed plan meets all regulatory standards and design goals for all applicable elements, except where modifications are warranted, as specified in the draft ordinance.

#### RECOMMENDATION

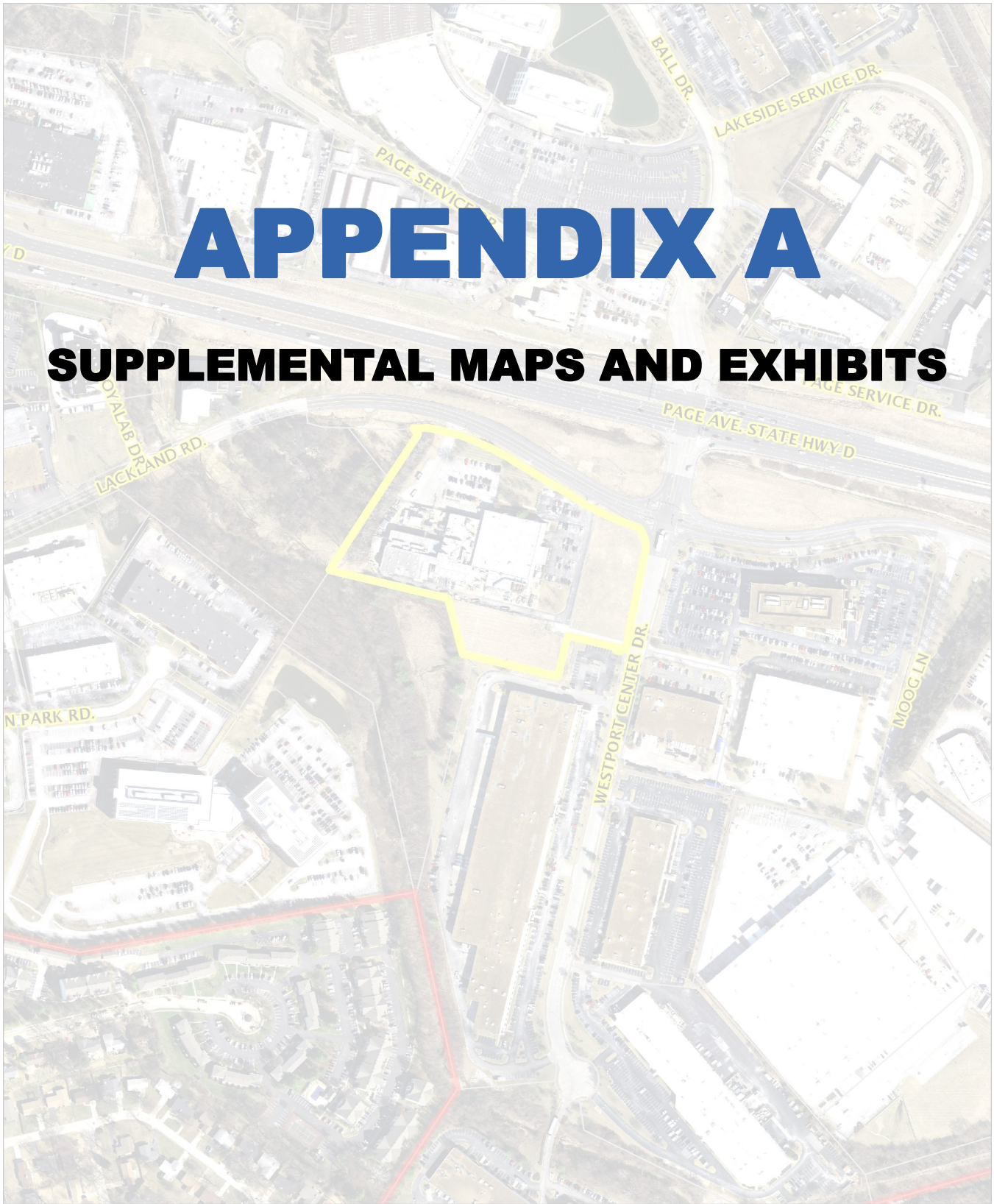
The City Planner recommends that this application for a Planned District be approved by the Planning Commission and that the draft ordinances attached hereto be recommended for adoption by the City Council.

A handwritten signature in black ink that reads "Michael Zeek".

Michael Zeek, AICP  
Director of Community Development



**REPORT TO PLANNING & ZONING COMMISSION**  
**CITY OF MARYLAND HEIGHTS**



# REPORT TO PLANNING & ZONING COMMISSION

## CITY OF MARYLAND HEIGHTS



FIGURE 1 - SUBJECT SITE





# REPORT TO PLANNING & ZONING COMMISSION

## CITY OF MARYLAND HEIGHTS

AGRICULTURAL	INDUSTRIAL	RESIDENTIAL (MFD)	UTILITY
BUSINESS	INSTITUTIONAL	RESIDENTIAL (SFD)	VACANT LAND
COMMERCIAL	RECREATIONAL	TRANSPORTATION	

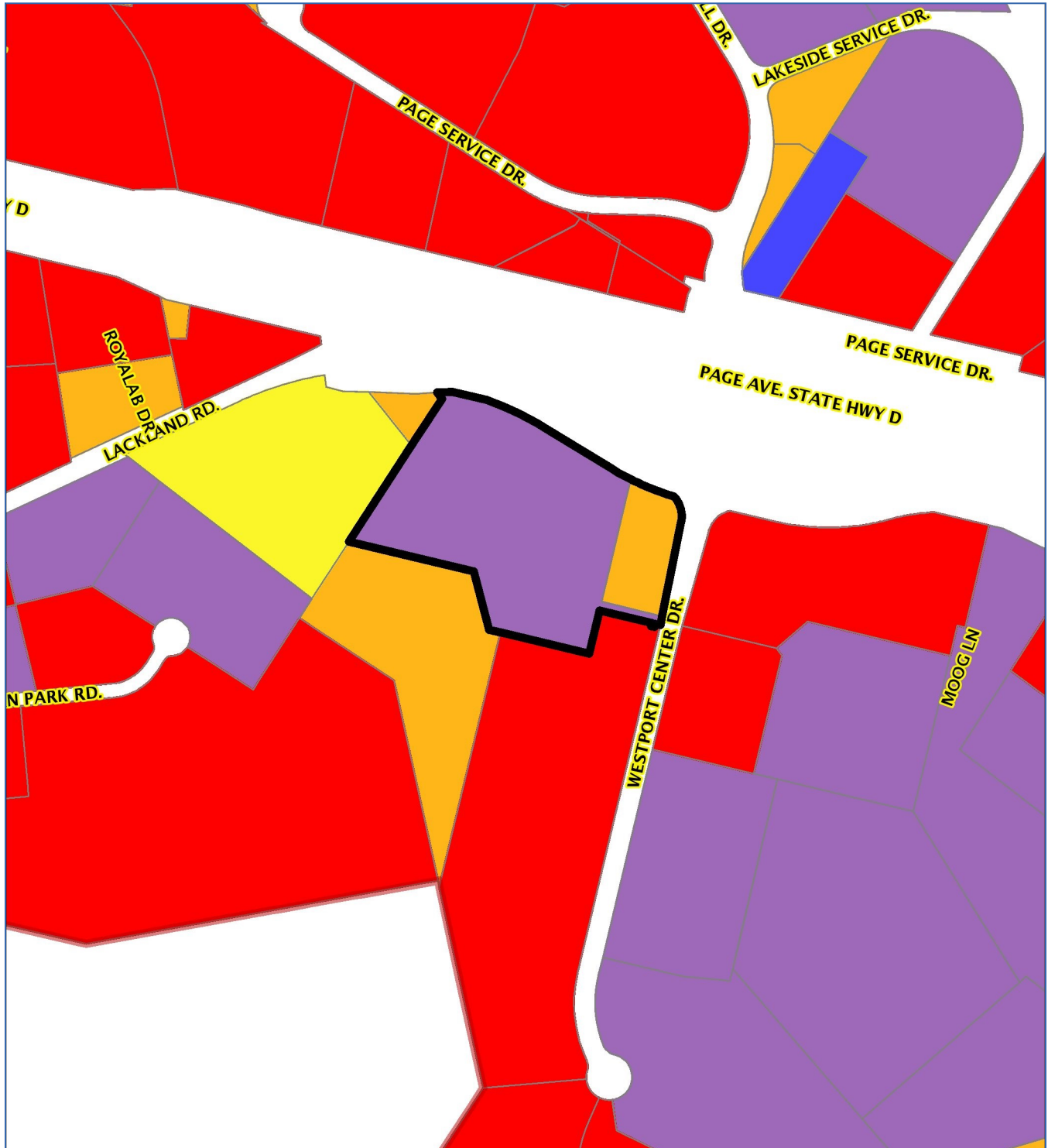


FIGURE 2 - EXISTING LAND USE

# REPORT TO PLANNING & ZONING COMMISSION

## CITY OF MARYLAND HEIGHTS

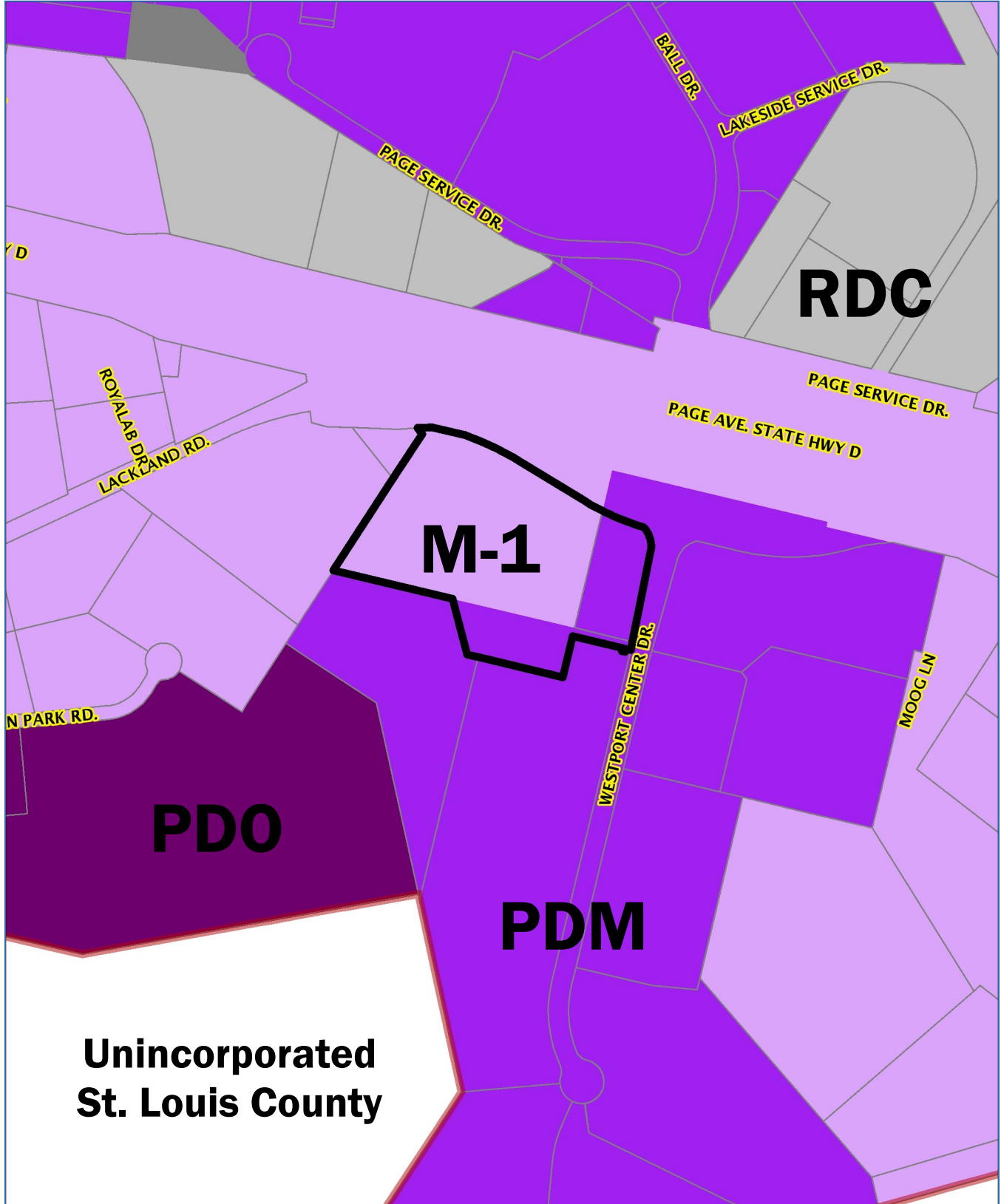
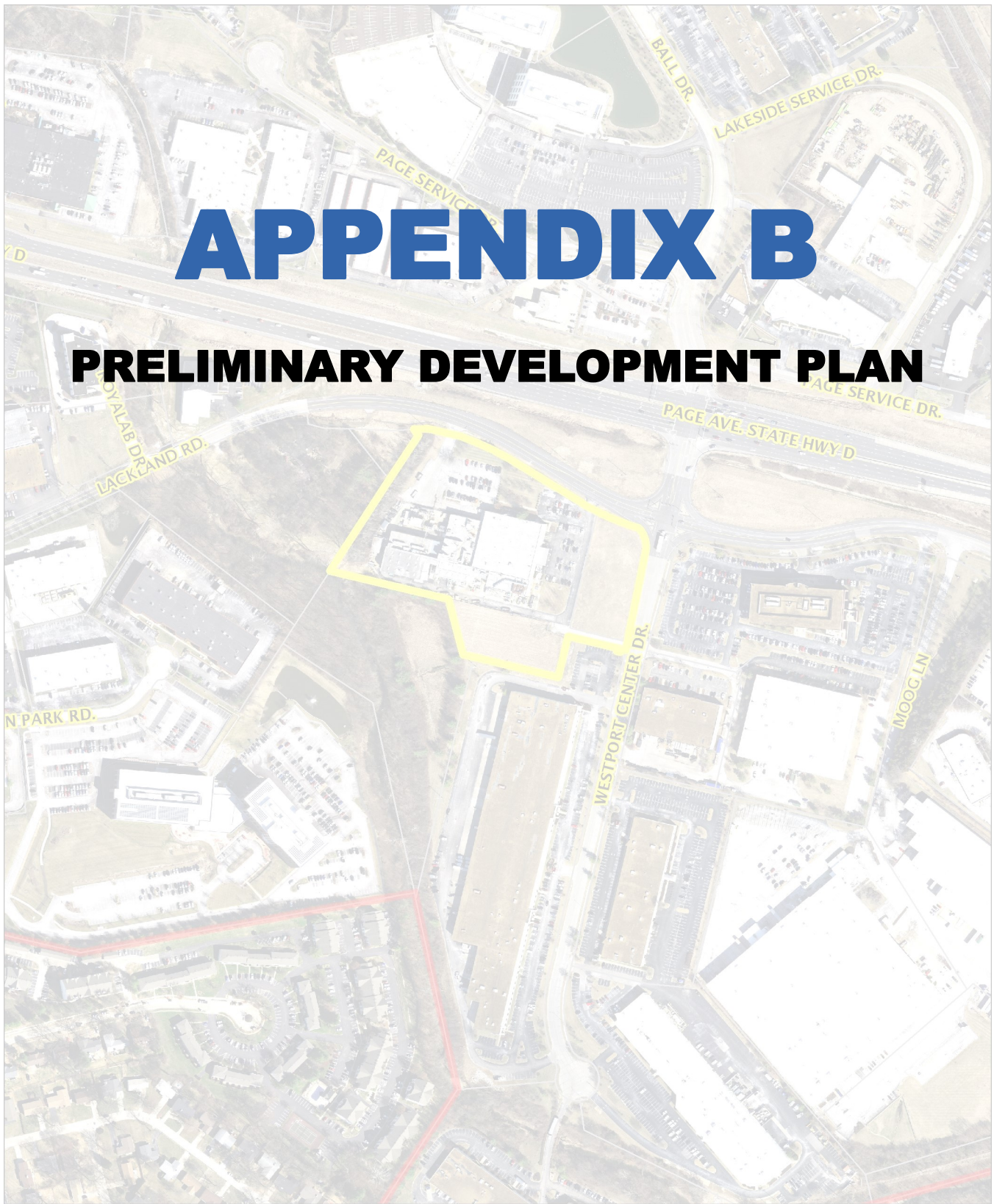
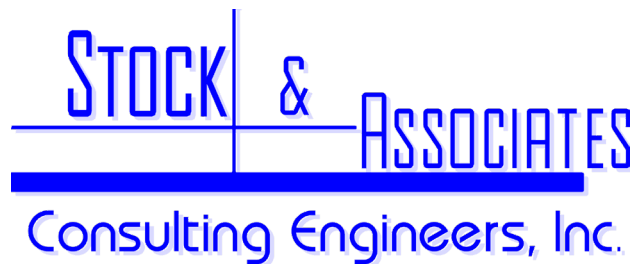


FIGURE 3 - ZONING MAP



**REPORT TO PLANNING & ZONING COMMISSION**  
**CITY OF MARYLAND HEIGHTS**





### **Air Products & Chemicals, Inc. Narrative:**

This Preliminary Development Plan is consistent with the Concept Plan as previously submitted. Additional information has been added, including grading, utilities and two potential coating pad/canopy areas.

Air Products Membrane Solutions facility in St Louis designs, manufactures and ships air separation membranes globally and is the sole production location. The current facility is located on a 7.79 acre parcel adjacent to Westport Center and is zoned primarily M-1. The southern portion was previously included in the Westport Center rezoning and is currently zoned PD-M.

Due to continued growth in existing markets and a strong pipeline of innovation, the business has outgrown its current footprint. To meet the current and future demand, the proposed development will expand operations with the addition of the following;

- A new 2 story manufacturing facility, approximately 43,000 sq ft total.
- A new warehouse facility, approximately 24,000 sq ft.
- A 2 story technical / innovation facility, approximately 26,000 sq ft total.

Construction is planned to start at the end of the year, with the site work, warehouse and manufacturing facility. The expected completion date for the warehouse is August 2024, the manufacturing facility will be completed about a year later around July 2025. The technical/innovation facility will start after the other buildings, wrapping up the project with a planned completion in early 2027.

The proposed development will occur on a proposed consolidated lot, which will include the recently purchased 1.32 acre lot 1 of Westport Center as well as the existing 7.79 acre parcel. The project will require rezoning to PD-M for the entire property.

Access to the site will include the existing Lackland Road entrance for the warehouse, a relocated Lackland Road access for employee parking and emergency access, and an existing entrance from Westport Center Drive.

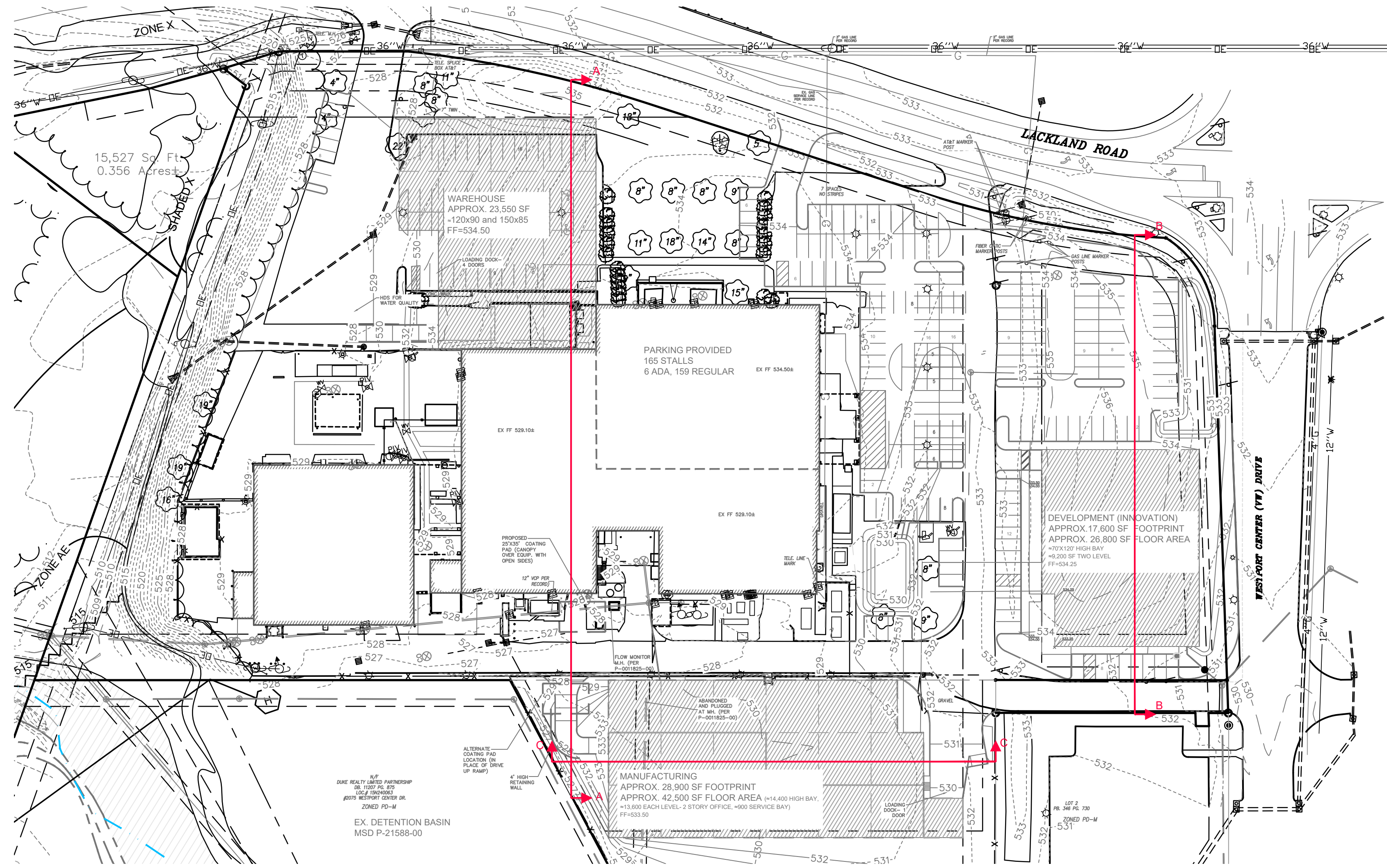
### **Stormwater Management**

The southern part of the existing Air Products parcel and lot 1 of Westport Center, where the proposed manufacturing and development buildings are shown, were both included and accounted for in the original Westport Center Stormwater Management plan and are tributary to the existing detention basin. The warehouse addition will be constructed over an existing parking lot. Since there is very limited added imperviousness that was not previously accounted for, we are not anticipating a new detention requirement.

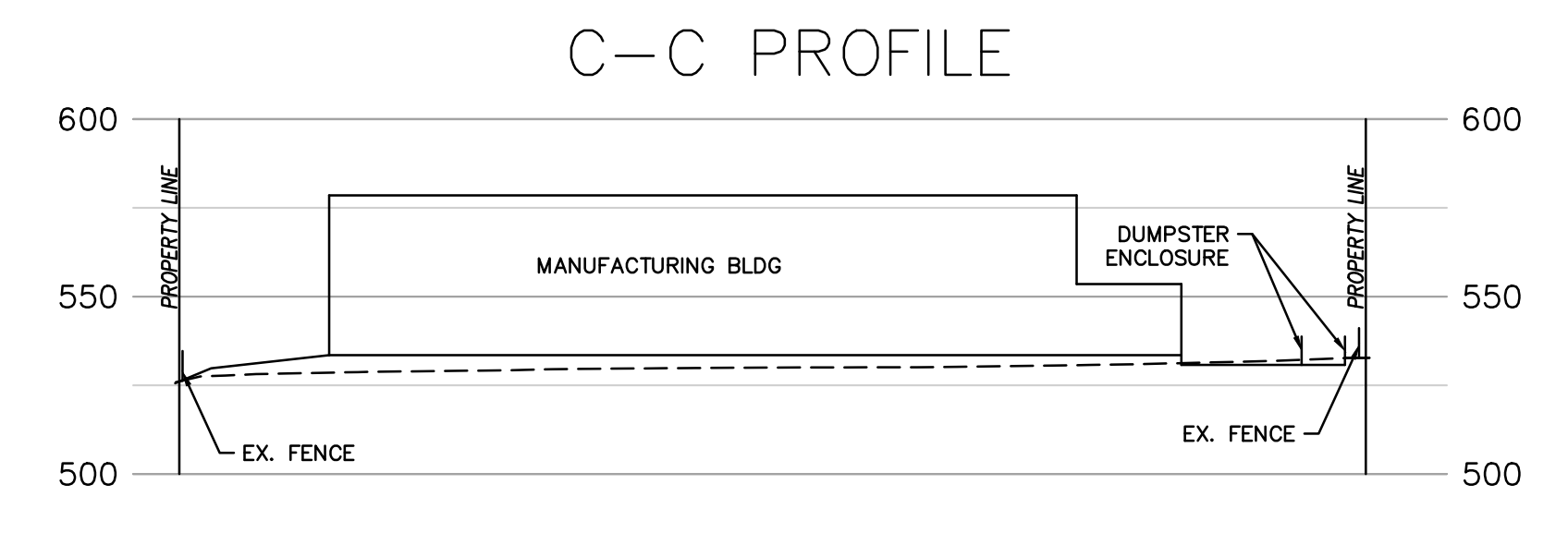
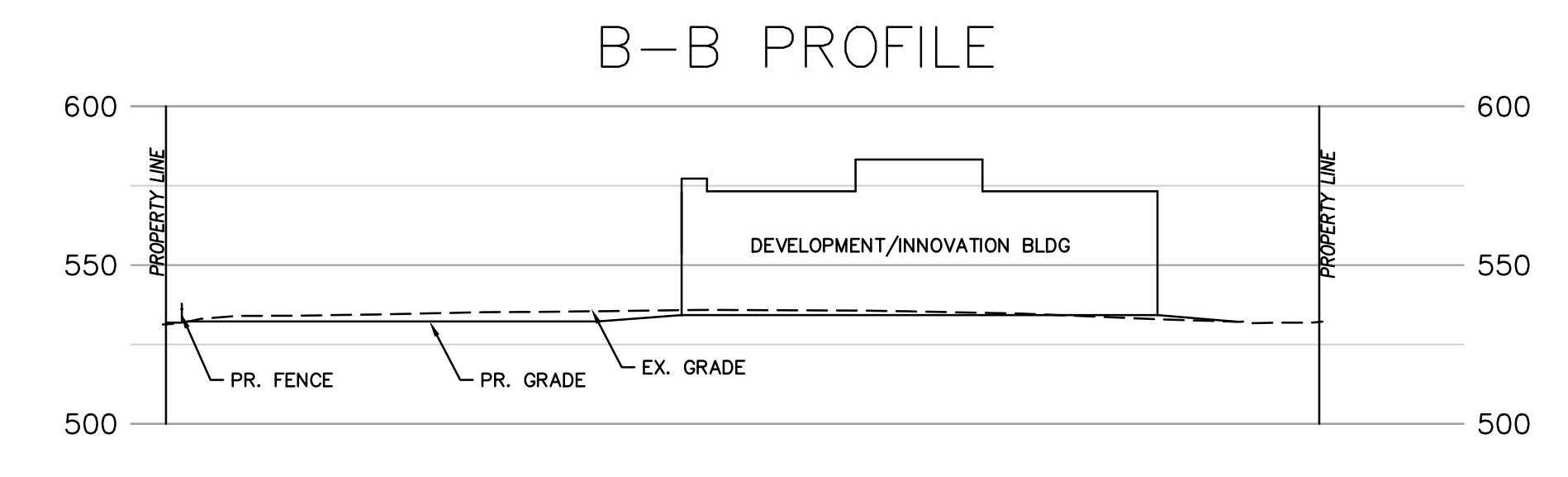
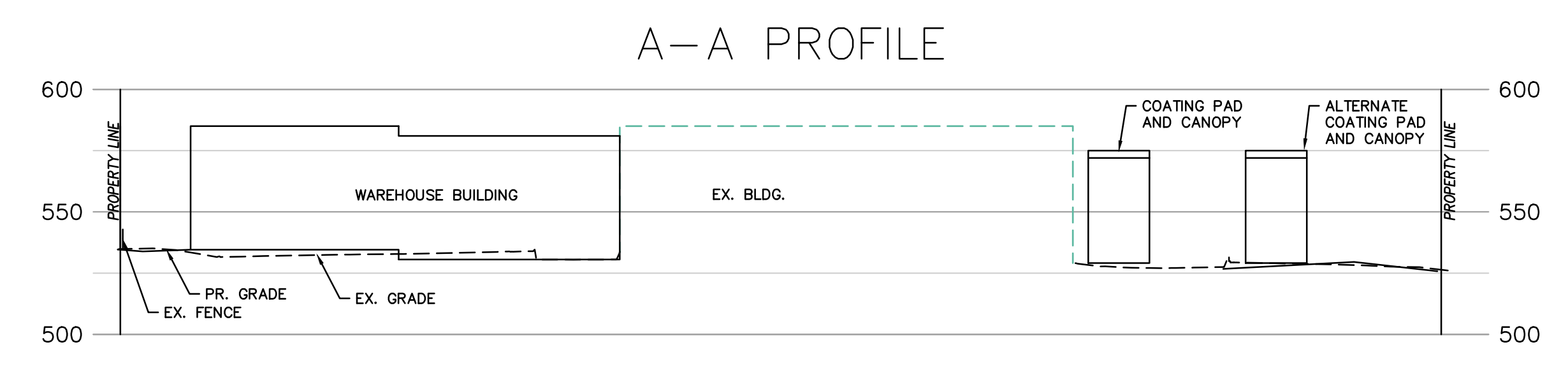
Water quality and volume reduction requirements will be met with one or two bioretention basins as shown on the concept plan and one or more HDS units as needed.







**SITE SECTIONS**  
SCALE: HORZ: 1"=50'  
VERT: 1"=50'



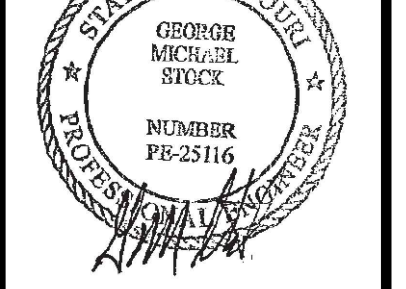
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PREPARED BY:  
**STOCK & ASSOCIATES**  
Consulting Engineers, Inc.

257 Chesterfield Business Parkway  
St. Louis, MO 63105 PH: (636) 530-9300  
5301-9300 FAX: (636) 530-9300  
e-mail: general@stockassoc.com  
Web: www.stockassoc.com

PRELIMINARY DEVELOPMENT PLAN FOR:  
**AIR PRODUCTS & CHEMICALS, INC**  
11436 AND 11444 LACKLAND RD.  
MARYLAND HEIGHTS, MISSOURI

DATE: 07/24/23



GEORGE M. STOCK E-25116  
CIVIL ENGINEER  
CERTIFICATE OF AUTHORITY  
NUMBER: 000996

REVISIONS:

1	
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DRAWN BY: A.M.G.	CHECKED BY: G.M.S.
DATE: 7/24/23	JOB NO: 223-7380
M.S.D. P.# P-XXXX-XX	BASE MAP P.# XX
S.L.C. MAT.# XXXX	MAT SUP.# XX-XXX-XX
M.D.N.R.# XX	

SHEET TITLE:  
**PRELIMINARY SITE SECTIONS**

SHEET NO.: **C3.0**

REVISIONS	BY

*landscape*  
**TECHNOLOGIES**  
 61 Jacobs Creek Drive  
 No. Coonsey, Maryland 21084  
 No. Coonsey, Maryland 21084  
 410.399.9919

**RANDALL W. MARDIS**  
 ARCHITECT  
 REGISTERED PROFESSIONAL ARCHITECT #000019  
 61 JACOBS CREEK DRIVE  
 NO. COONSEY, MARYLAND 21084  
 DATE: 7/22/2023

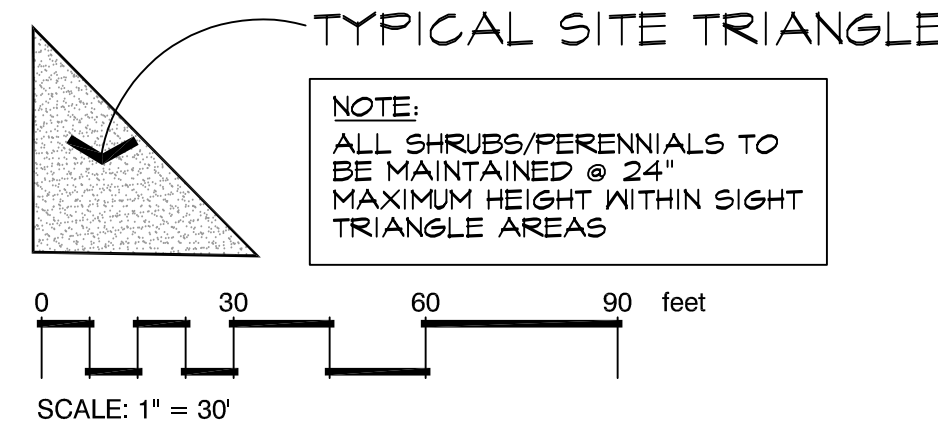
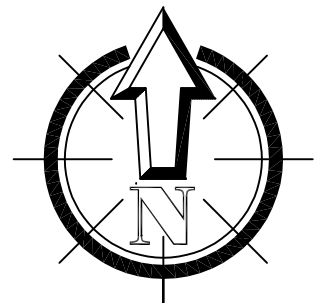
**PLANTING PLAN FOR THE PROPOSED**  
**Air Products & Chemicals, Inc.**  
 11436 LACKLAND ROAD MARYLAND HEIGHTS, MO 63146

DRAWN  
 R. MARDIS  
 CHECKED  
 RWM/6LB  
 DATE  
 7/22/2023  
 SCALE  
 1"=30'-0"  
 JOB No.  
 2023-151  
 SHEET

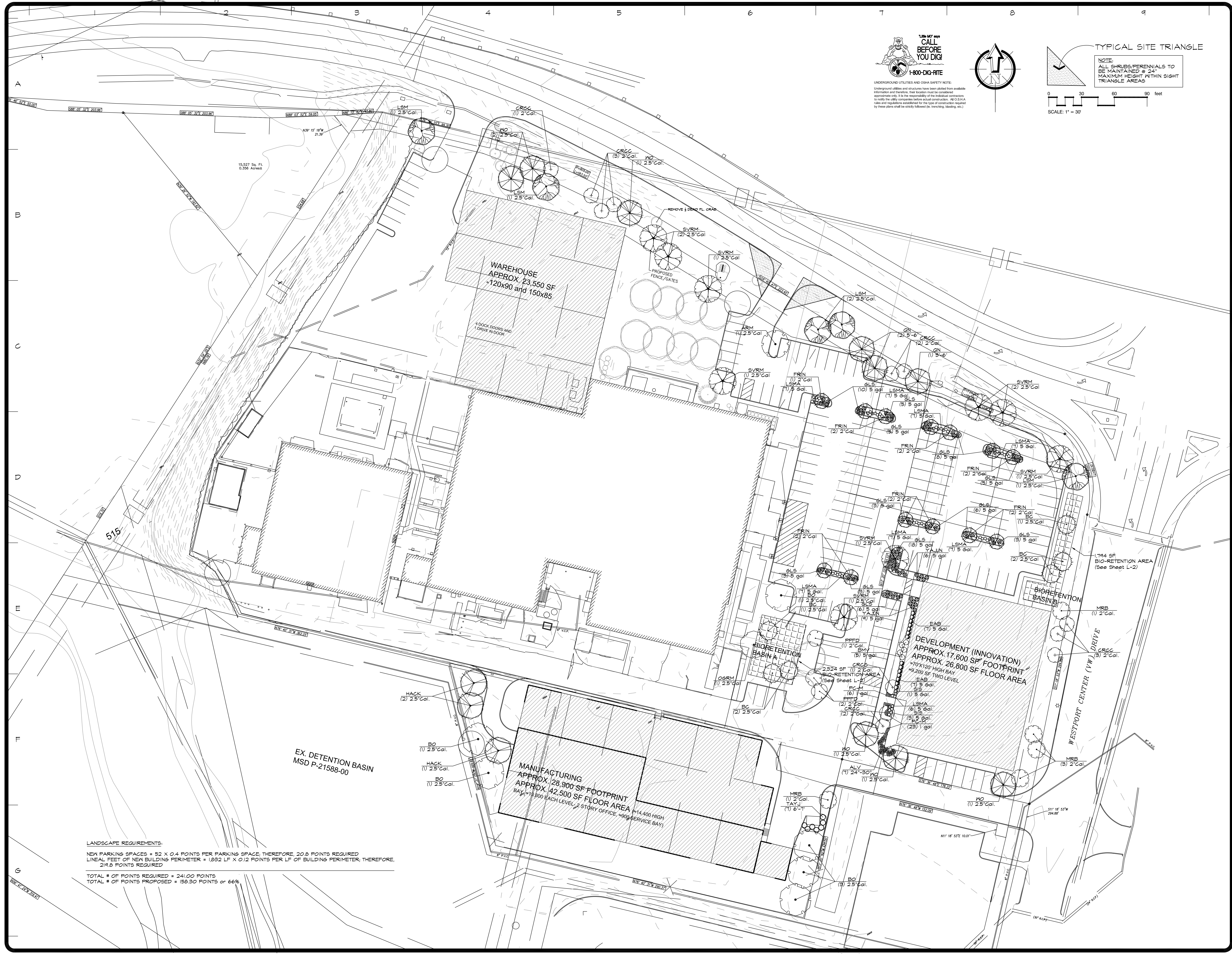
**L-1**  
 OF TWO SHEETS



**1-800-DIG-RITE**  
 UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:  
 Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractor to notify the utility companies before actual construction. All O.S.H.A. rules and regulations established for the type of construction required by these plans shall be strictly followed (i.e., trenching, shoring, etc.)



**LANDSCAPE REQUIREMENTS:**  
 NEW PARKING SPACES = 52 X 0.4 POINTS PER PARKING SPACE; THEREFORE, 20.8 POINTS REQUIRED  
 LINEAL FEET OF NEW BUILDING PERIMETER = 1832 LF X 0.12 POINTS PER LF OF BUILDING PERIMETER; THEREFORE, 219.8 POINTS REQUIRED  
 TOTAL # OF POINTS REQUIRED = 241.00 POINTS  
 TOTAL # OF POINTS PROPOSED = 150.30 POINTS or 66%









WAREHOUSE BUILDING NORTH/WEST VIEW



MANUFACTURING BUILDING NORTH/EAST VIEW



DEVELOPMENT / INNOVATION BUILDING NORTH/EAST VIEW

# AIR PRODUCTS EXPANSION BUILDINGS

Lackland Road & Westport Center Drive - Maryland Heights, Missouri

AIR PRODUCTS  
EXPANSION

123214.00

07/22/23





## WAREHOUSE BUILDING NORTH/WEST VIEW

Lackland Road & Westport Center Drive - Maryland Heights, Missouri

WAREHOUSE  
BUILDING

123214.00

07/22/23



gray



## MANUFACTURING BUILDING NORTH/EAST VIEW

Lackland Road & Westport Center Drive - Maryland Heights, Missouri

MANUFACTURING  
BUILDING

123214.00

07/22/23





## DEVELOPMENT/INNOVATION BLDG. NORTH/EAST VIEW

Lackland Road & Westport Center Drive - Maryland Heights, Missouri

DEVELOPMENT /  
INNOVATION  
BUILDING

123214.00

07/22/23



gray



# EXISTING BUILDING PHOTOGRAPHS

Lackland Road & Westport Center Drive - Maryland Heights, Missouri

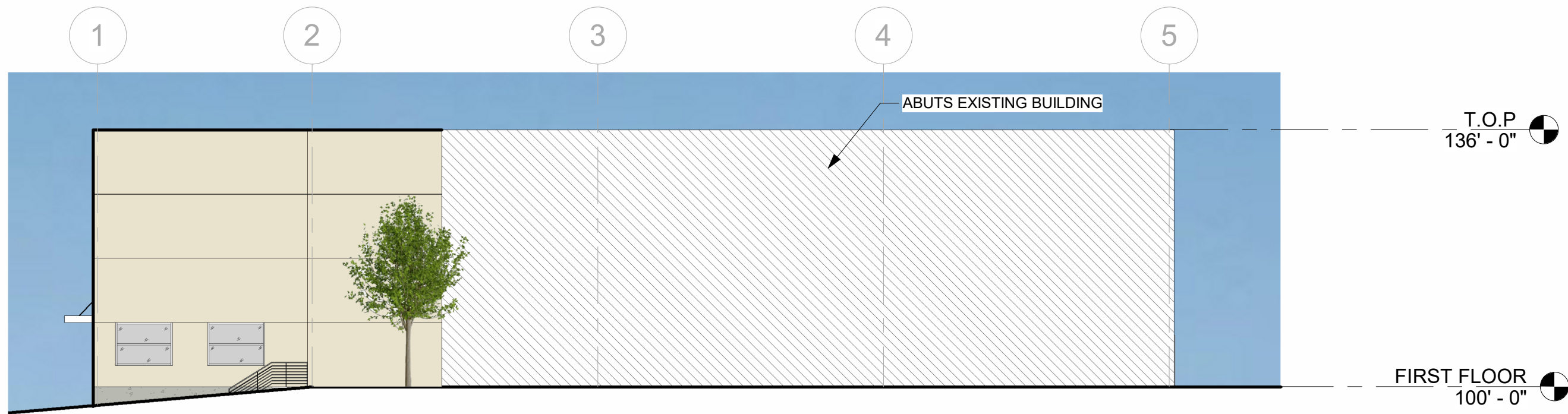
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EXISTING BUILDING PHOTOS

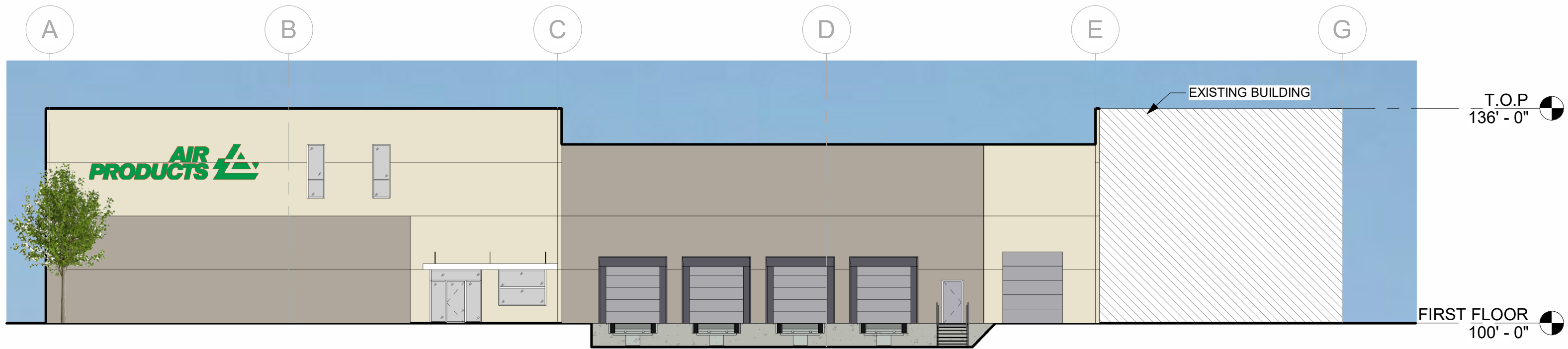
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07/20/23





**1 SOUTH ELEVATION**  
 P1.1 1/16" = 1'-0"



**2 WEST ELEVATION**  
 P1.1 1/16" = 1'-0"

**WAREHOUSE BUILDING**

Lackland Road & Westport Center Drive - Maryland Heights, Missouri

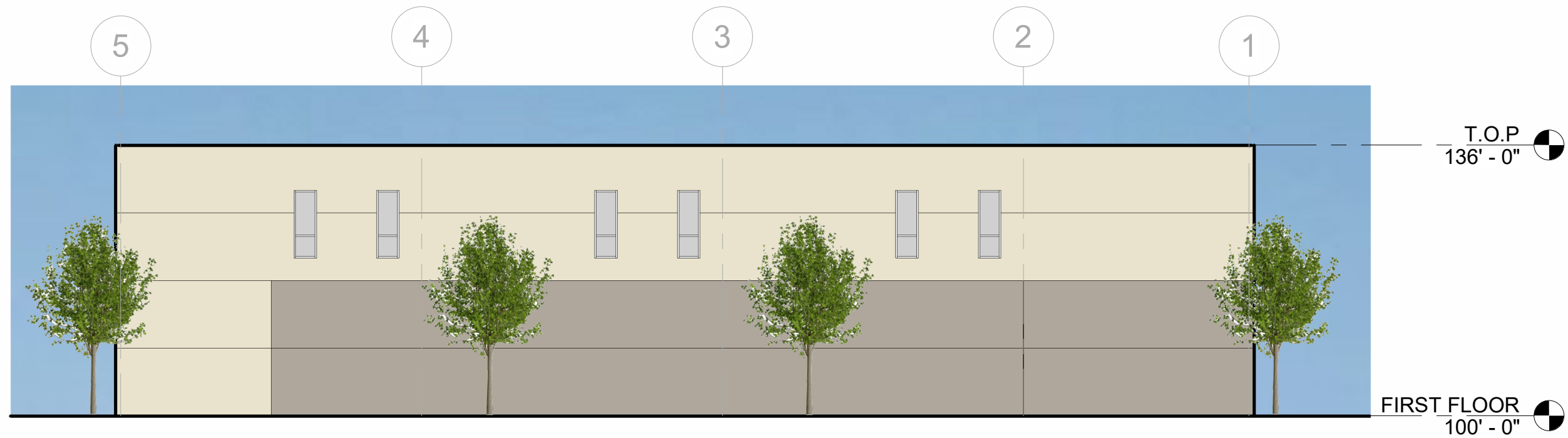
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EXTERIOR  
 ELEVATIONS

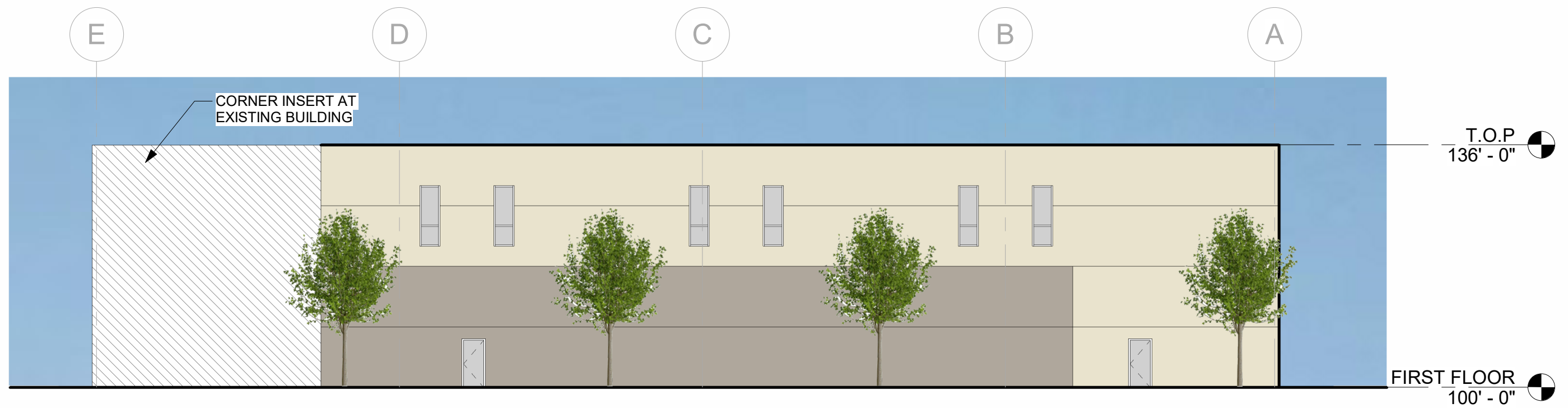
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07/20/23





1 NORTH ELEVATION  
P1.2 1/16" = 1'-0"



2 EAST ELEVATION  
P1.2 1/16" = 1'-0"

# WAREHOUSE BUILDING

Lackland Road & Westport Center Drive - Maryland Heights, Missouri

(PAGE 3 OF 7)

EXTERIOR  
ELEVATIONS

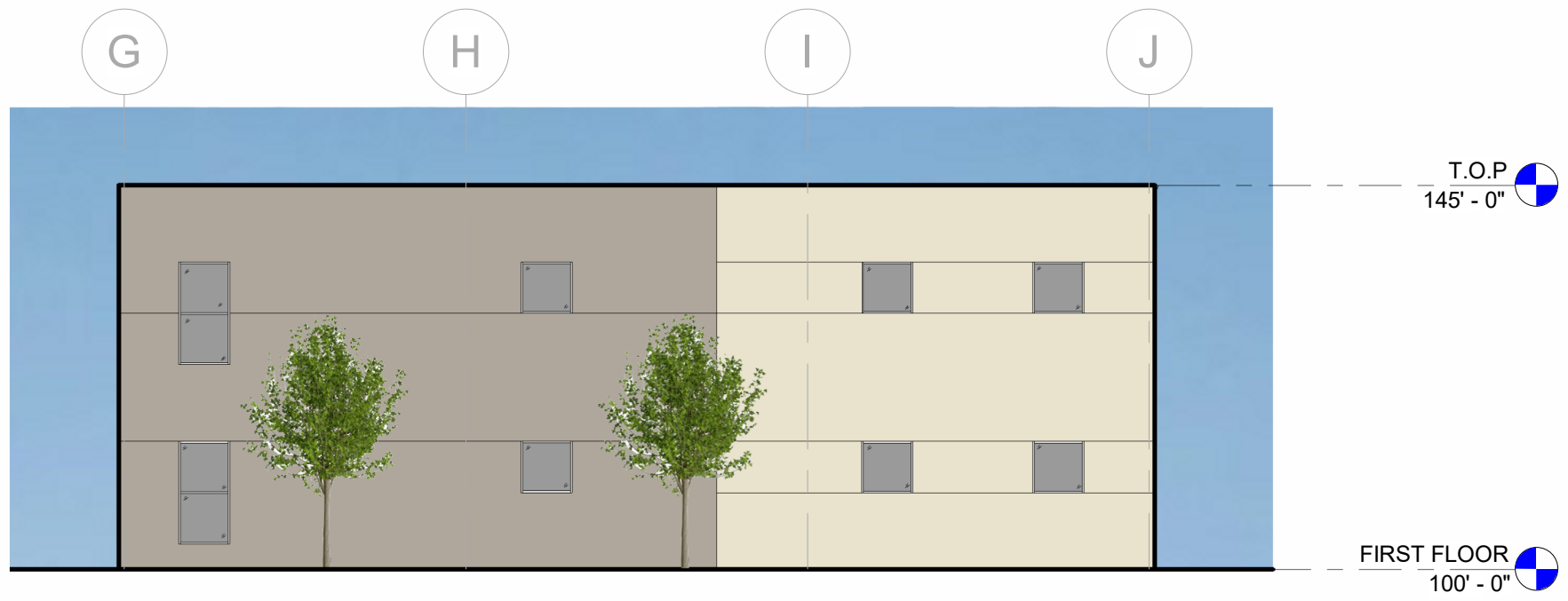
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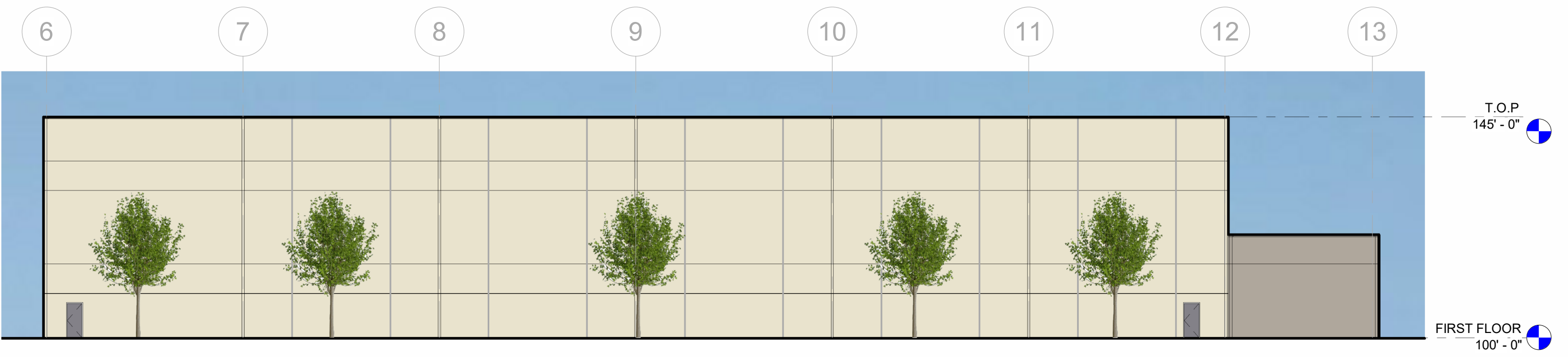


gray





1 WEST ELEVATION  
P2.2 1" = 20'-0"



2 SOUTH ELEVATION  
P2.2 1" = 20'-0"

# MANUFACTURING BUILDING

Lackland Road & Westport Center Drive - Maryland Heights, Missouri

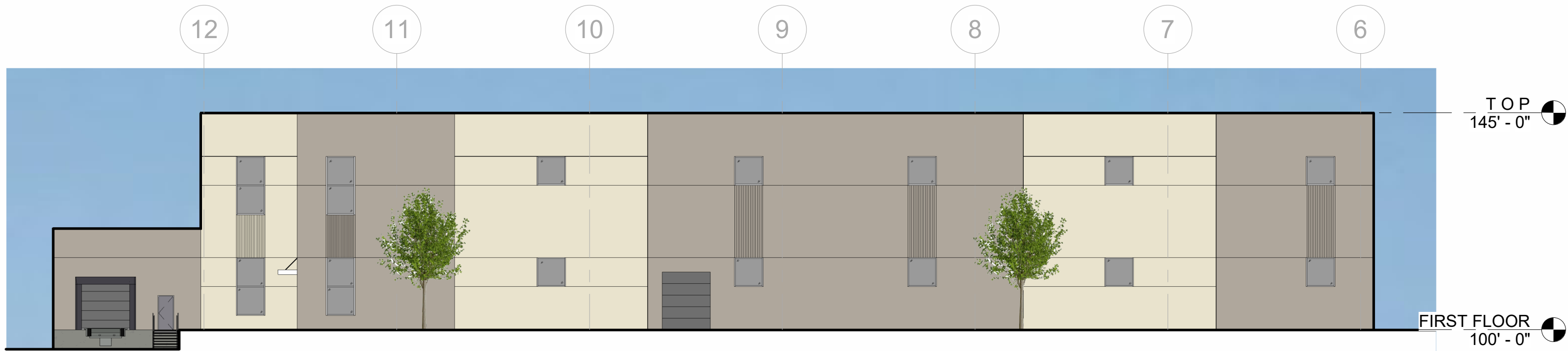
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EXTERIOR  
ELEVATIONS

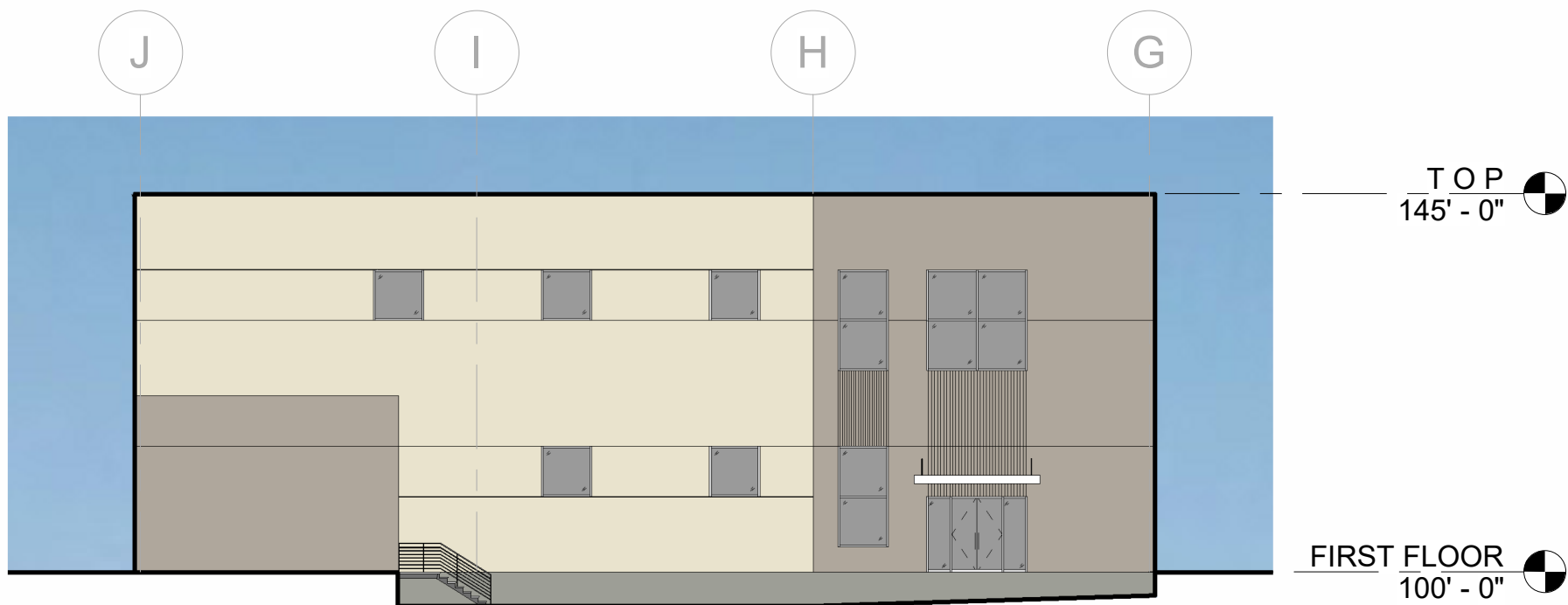
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1 NORTH ELEVATION  
P2.3 1" = 20'-0"



2 EAST ELEVATION  
P2.3 1" = 20'-0"

# MANUFACTURING BUILDING

Lackland Road & Westport Center Drive - Maryland Heights, Missouri

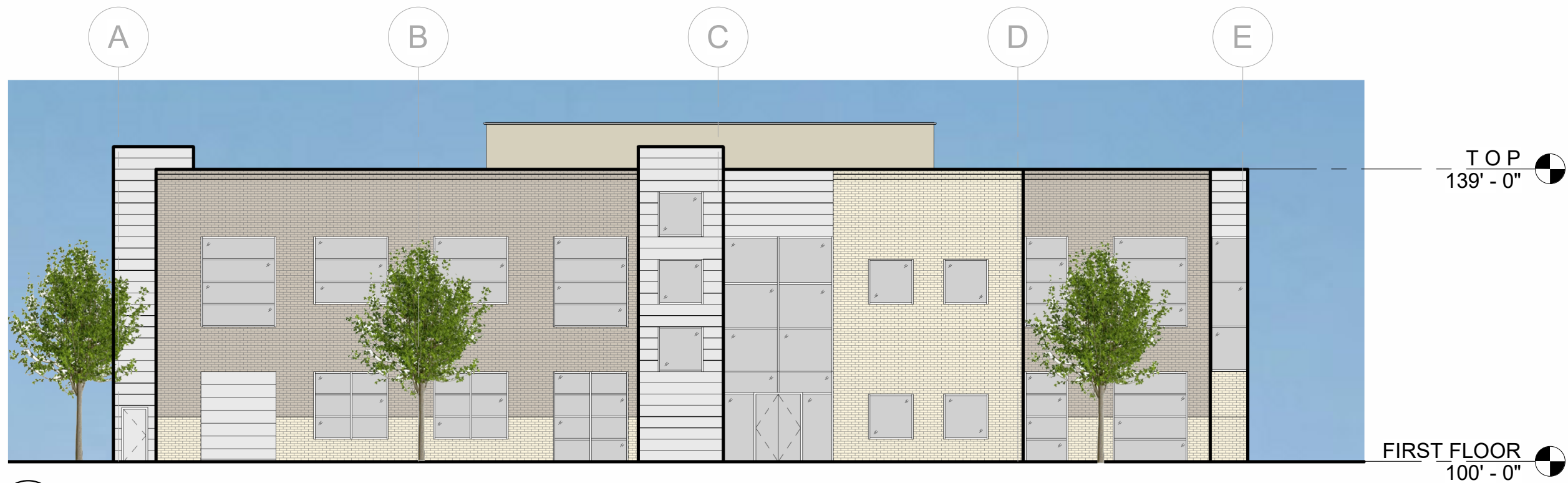
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EXTERIOR  
ELEVATIONS

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07/20/23





**1 WEST ELEVATION**  
 P3.2 1/16" = 1'-0"



**2 NORTH ELEVATION**  
 P3.2 1/16" = 1'-0"

**DEVELOPMENT / INNOVATION BUILDING**

Lackland Road & Westport Center Drive - Maryland Heights, Missouri

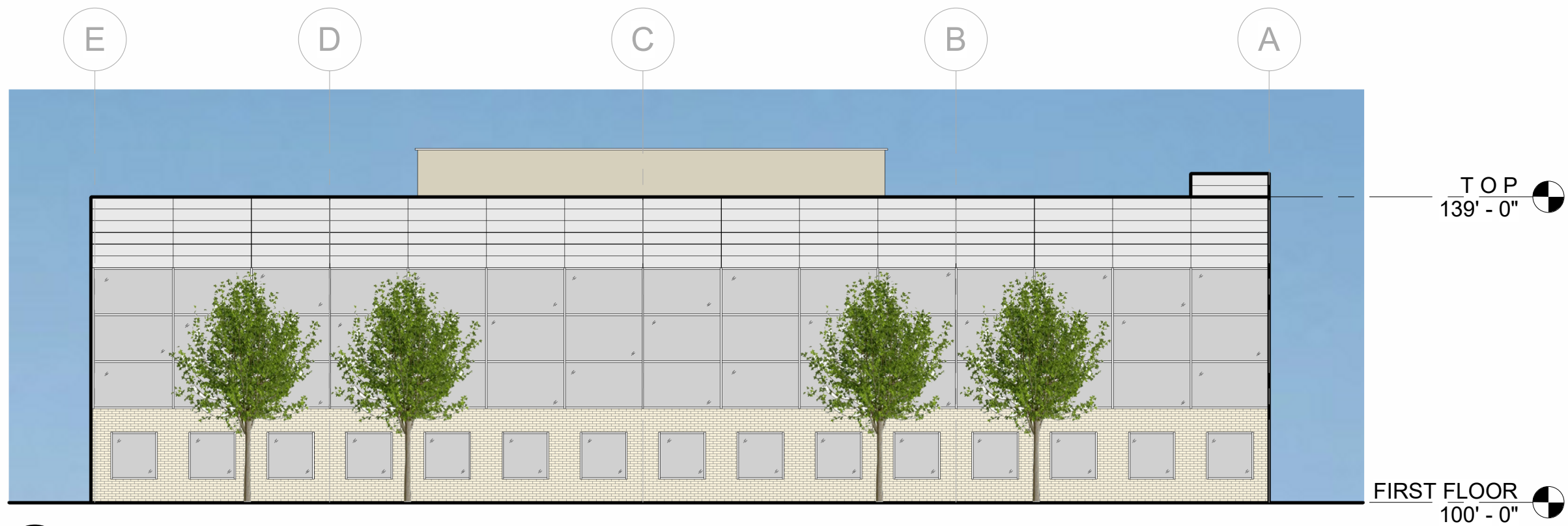
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EXTERIOR  
 ELEVATIONS

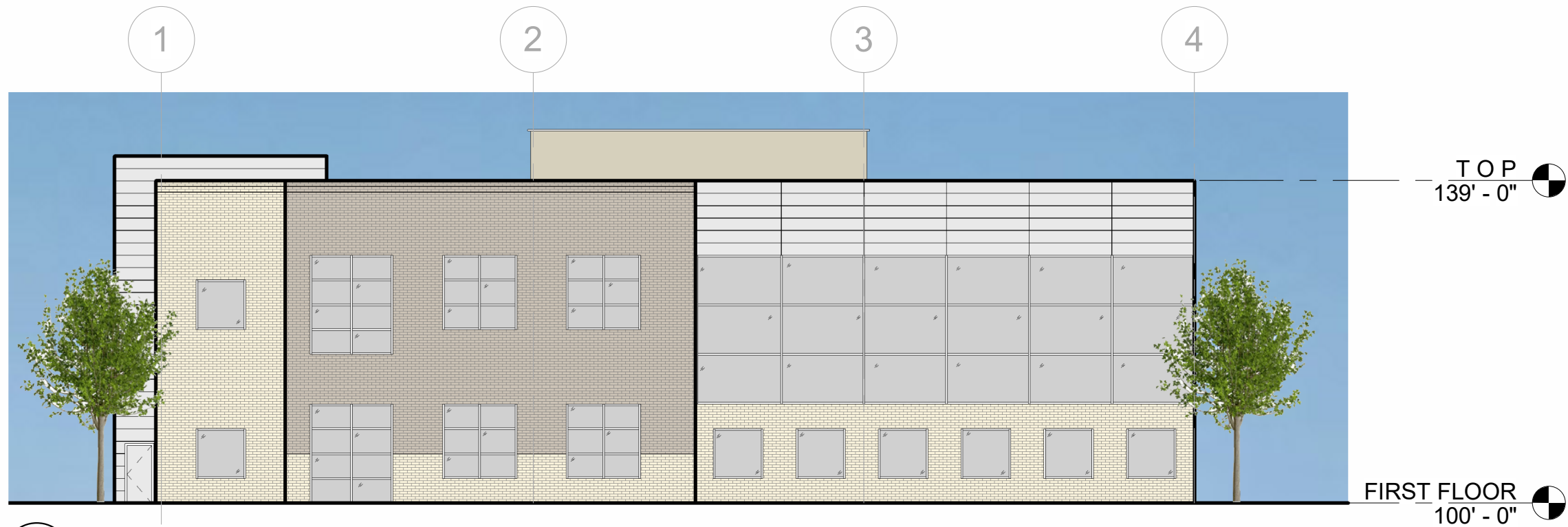
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07/20/23





1 EAST ELEVATION  
P3.3 1/16" = 1'-0"



2 SOUTH ELEVATION  
P3.3 1/16" = 1'-0"

## DEVELOPMENT / INNOVATION BUILDING

Lackland Road & Westport Center Drive - Maryland Heights, Missouri

(PAGE 7 OF 7)

EXTERIOR  
ELEVATIONS

123214.00

07/20/23



**AN ORDINANCE REPEALING ORDINANCE 2018-4343 AND ENACTING  
A NEW ORDINANCE IN LIEU THEREOF TO CHANGE THE BOUNDARIES  
OF THE WESTPORT CENTER PLANNED DISTRICT  
(Petition of Air Products & Chemicals, Inc.)**

**WHEREAS**, a Public Hearing was held before the Planning and Zoning Commission regarding the proposed amendments contained in this Ordinance; and

**WHEREAS**, the Planning and Zoning Commission has recommended approval of the proposed amendments; and

**WHEREAS**, the City Council has reviewed the recommendation of the Planning and Zoning Commission and has determined that the proposed amendments are appropriate;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MARYLAND HEIGHTS, MISSOURI, AS FOLLOWS:**

**Section 1:** Ordinance 2018-4343 is hereby repealed.

**Section 2:** The zoning of real estate in the City of Maryland Heights for a 69.335 acre parcel known as Westport Center is "PDM" Planned District Manufacturing with a legal description as follows:

A tract of land being part of Westport Center Subdivision, as recorded in Plat Book 346, Page 730, in U.S. Survey 357, Township 46 North, Range 5 East of the Fifth Principal Meridian, City of Maryland Heights, St. Louis County, Missouri being more particularly described as follows:

Beginning at the Northwesterly corner of Lot 1 of Wagner Electric Subdivision, as recorded in Plat Book 227 Page 8, of the St. Louis County records, said point being located on the Southerly line of Page Avenue, as now established; thence along last said Southerly line the following courses and distance; thence South 76 degrees 50 minutes 57 seconds East 656.12 feet; thence South 13 degrees 09 minutes 09 seconds West 15.00 feet; thence South 76 degrees 50 minutes 57 seconds East 358.57 feet; thence departing last said Southerly line, South 13 degrees 09 minutes 09 seconds West 295.65 feet; thence North 76 degrees 50 minutes 03 seconds West 21.75 feet; thence South 13 degrees 10 minutes 09 seconds West 539.82 feet; thence North 76 degrees 48 minutes 33 seconds West 394.02 feet; thence South 13 degrees 10 minutes 09 seconds West 551.29 feet; thence South 41 degrees 01 minutes 22 seconds East 777.98 feet; thence South 14 degrees 57 minutes 42 seconds East 90.78 feet; thence South 74 degrees 22 minutes 01 seconds West 228.07 feet; thence South 00 degrees 59 minutes 50 seconds East 268.96 feet; thence South 07 degrees 09 minutes 20 seconds East 470.94 feet; thence South 63 degrees 56 minutes 03 seconds West 207.10 feet; thence North 53 degrees 32 minutes 07 seconds West 1418.07 feet; thence North 33 degrees 06 minutes 52 seconds East 455.77 feet; thence North 12 degrees 39 minutes 10 seconds West 1177.23 feet; thence North 56 degrees 53 minutes 06 seconds West 319.41 feet; thence North 32 degrees 42 minutes 22 seconds East 257.57 feet to a point on the Southerly line of Adjusted Lot 2 of above a Boundary Adjustment Plat as recorded in Plat Book 346 Page 449 of said records; thence along the Southerly, Easterly, and Northerly lines of above said Lot 2 the following courses and distances: South 76 degrees 52 minutes 13 seconds East 362.25 feet; South 14 degrees 49 minutes 33 seconds East, 169.82 feet; South 76 degrees 52 minutes 13 seconds East, 290.37 feet; North 13 degrees 08 minutes 20 seconds East, 125.00 feet; South 76 degrees 48 minutes 30 seconds East, 152.09 feet; South 11 degrees 07 minutes 11 seconds West, 10.01 feet; South 76 degrees 48 minutes 30 seconds East, 9.99 feet; North 13 degrees 11 minutes 30 seconds East, 0.41 feet; North 11 degrees 07 minutes 11 seconds East, 9.60 feet; South 76 degrees 48 minutes 30 seconds East, 15.01 feet; North 11 degrees 07 minutes 11 seconds East, 294.88 feet to a curve to the left having a radius of 79.00 feet; along said curve an arc distance of 80.10 feet and a chord which bears North 15 degrees 43

minutes 16 seconds West, 76.71 feet to a point of curve to the right having a radius of 725.00 feet; along said curve an arc distance of 131.22 feet and a chord which bears North 68 degrees 36 minutes 42 seconds West, 131.04 feet; thence continue Northwesterly along said curve an arc distance of 57.60 feet; North 58 degrees 52 minutes 29 seconds West, 223.45 feet to a curve to the left having a radius of 905.00 feet; and along said curve an arc distance of 183.53 feet and a chord which bears North 64 degrees 41 minutes 06 seconds West, 183.23 feet, to the above said Southerly line of Page Ave; thence along said Southern line, South 76 degrees 50 minutes 57 seconds East, a distance of 447.06 feet to the point of beginning and containing 3,020,218 square feet or 69.335 acres more or less according to calculations performed by Stock & Associates Consulting Engineers, Inc. during July, 2023.

**Section 3:** The conditions of development established by this Ordinance for the "PDM" Planned Manufacturing District referenced in Section 2 (the "Project") are as follows:

**I. PERMITTED AND CONDITIONAL USES**

- A. Permitted (P) and Conditional (C) uses shall be those set forth in the Zoning Matrix (Exhibit A) which is attached hereto and incorporated herein.
- B. Entertainment uses, such as drinking places, restaurants, and nightclubs, may not be located more than eight hundred fifty (850) feet south of Lackland Road, as relocated.

**II. CONCEPTUAL PLAN SUBMITTAL REQUIREMENTS**

The recorded Concept Development Plan may be amended at any time by the City Council upon a recommendation by the Planning and Zoning Commission. The final Concept Development Plan shall contain, and any amended Plan shall include, the following:

- A. Location map, north arrow, and plan scale.
- B. Outboundary plat and legal description of the entire tract with a land surveyor's seal.
- C. Existing and proposed contours at vertical intervals of not more than two (2) feet based on USGS data is required.
- D. The type, number, and general location of all existing and proposed buildings and structures and/or land areas by use, including a maximum square footage of the individual land uses.
- E. Approximate location of all proposed outside storage, maintenance buildings, and refuse collection areas.
- F. Approximate location and number of all proposed internal roads and emergency access routes.
- G. Preliminary layout of sanitary and storm sewers to include proposed stormwater detention/retention facilities.
- H. Approximate location and height of proposed light poles and other exterior lighting facilities, or notes covering same.
- I. Approximate location, height and size of proposed freestanding signs, or notes covering same.
- J. General notes and requirements for proposed landscaping shall be provided, to include information on areas of screening and buffering. Information shall include the general type, size, and quantity of the plantings.

**III. SITE IMPROVEMENT PLAN REQUIREMENTS**

The proposed development may be constructed in phases. The developer for each project or site to be constructed shall submit Site Improvement Plans for the review and approval by the City of Maryland Heights. Site Plan review shall be in accordance with Article 4, Site Plan Review of the City of Maryland Heights.

**IV. SPECIFIC DEVELOPMENT REQUIREMENTS**

- A. Building Height Requirements: No new building shall exceed a height of one hundred twenty (120) feet. Height shall be measured from the low side finished grade.
- B. Structure Setbacks: No structure, excepting the noted accessory structures and specified MVOB structures within Lot 1, shall be constructed within the following setbacks:
  - 1. Thirty (30) feet from the right of way of Lackland Road.
  - 2. Thirty (30) feet from the right-of-way of any dedicated public street within the Planned District.
  - 3. Thirty-five (35) feet from the east and west property lines with the exception of the east property line along Lot 1, Tract “B”, Wagner Electric Subdivision, which shall be ten (10) feet.
  - 4. Fifty (50) feet from the south property line, which separates the Planned District from the Graeler Park Subdivision.

These setbacks apply to the perimeter of the Planned District and dedicated streets and roads, not internal property lines of any future subdivision. Setbacks for internal property lines shall conform to the setback requirements of the “M-1” District.

C. Accessory Structure Setbacks

In general, accessory structures excepted from these setbacks shall include fences six (6) feet in height or less, parking lots and driveways, internal access driveways, loading/unloading spaces, freestanding signs, light posts, and retaining walls. Parking lots and loading/unloading areas shall not be permitted in the setback area along the south property line adjacent to the Graeler Park subdivision.

- D. Parking Setbacks: No new parking stall or internal drive, excluding points of ingress or egress, shall be located within fifteen (15) feet of Lackland Road or any future dedicated right-of-way or five (5) feet of any internal lot lines.
- E. Traffic Impact Requirements: Each Site Development Plan shall contain a traffic study reflecting the impact of the proposed development on the existing roadway system. The City may deny approval for any development that would generate traffic in excess of the capacity of the approved roadway system.
  - 1. The total traffic generation from the proposed development shall not exceed eight hundred (800) vehicles per hour (vph).
  - 2. This traffic generation may be increased to one thousand (1,000) vph subject to the following:
    - a. Completion of intersection improvements at the intersection of Page Avenue and Schuetz Road by St. Louis County Department of Transportation and Missouri Department of Transportation (MoDOT).

- b. Confirmation of additional roadway capacity by the City's Traffic Consultant and/or City Engineer.
- F. Stormwater Management: As part of the approval process for any development phase or site plan, if such amendment affects stormwater drainage, the developer shall submit to the City Engineer, an engineering plan approved by the Metropolitan Saint Louis Sewer District showing that adequate handling of the stormwater drainage of the project site is provided.
- G. Parking and Loading Requirements: Parking spaces and loading areas shall be provided for such new project in accordance with the provisions of Article 14, Parking and Loading Regulations, of the Zoning Code.
- H. Lighting Requirements: New or replacement exterior lighting shall be in accordance with Article 8, Lighting Design Standards of the Zoning Code.
- I. Landscape Requirements: Landscaping shall be provided on the entire site in conformance with an approved Landscape Plan prepared in conjunction with the Site Development Plan for each building or development phase. This Plan shall illustrate adherence to the following:
- 1. Minimum plant material requirements for Lots 2, 3, and 4 of Westport Center are as follows:
    - a. A minimum of one (1) deciduous tree and one (1) evergreen tree for every forty (40) lineal feet and two (2) shrubs for every 2,500 square feet shall be provided for the buffer zones.
    - b. For purposes of this requirement buffer zones shall be a minimum of fifty (50) feet along the south property line of the District. Subject to the review of the City Planner, planting materials may be clustered within these areas to create a vegetative screen between residential and commercial uses.
    - c. Existing vegetation within the buffer area may be left in place to function as part of the buffer area. The extent that this vegetation replaces landscape material shall be determined by the City Planner.
    - d. One (1) deciduous tree or evergreen tree and two (2) shrubs shall be planted for every fifty (50) feet of building perimeter. This is in addition to any landscaping provided for buffer zone requirements.
    - e. One (1) deciduous or evergreen tree or two (2) shrubs shall be planted for every twenty (20) parking spaces, either along the parking lot perimeter (10 feet) or within the parking area.
    - f. Landscape treatments shall not interfere with site line requirements specified for parking, internal drive or roadway locations.
  - 2. Minimum plant material requirements for Lots 5, 6, 7, and 8 of Westport Center are as follows:
    - a. One (1) deciduous tree, one (1) evergreen tree and two (2) shrubs shall be planted for every fifty (50) feet of building perimeter.
    - b. One (1) deciduous tree or one (1) evergreen tree or three (3) shrubs shall be planted for every twenty (20) parking spaces, either along the parking lot perimeter (10 feet) or within the parking area.



- c. Landscape treatments shall not interfere with sight line requirements specified for parking, internal drive or roadway locations.
3. All new landscaping materials shall meet the following minimum requirements:
    - a. Deciduous trees:  
20%: three (3) inch minimum caliper  
80%: two (2) inch minimum caliper
    - b. Evergreen trees:  
20%: eight (8) feet minimum height  
80%: six (6) feet minimum height
    - c. Shrubs: eighteen (18) inch minimum diameter
    - d. The diameter of a tree trunk shall be measured six (6) inches above the root ball for trees up to four (4) inches in diameter.
  4. Proposed stormwater management basins shall include supplemental landscape material as specified below:
    - a. One (1) deciduous tree per 2,500 square feet of side slope area
    - b. One (1) evergreen tree per 850 feet of side slope area
    - c. One (1) shrub per 850 square feet of side slope area
    - d. Plant materials shall be used to screen head walls and other drainage structures
    - e. Plantings below maximum pool elevation shall be tolerant of periods of frequent flooding
    - f. The area of the side slope shall be determined by the City Planner
  5. General Landscaping Requirements.
    - a. No more than thirty (30) percent of the tree plantings shall be of the same species. The design of any Landscape Plan shall incorporate planting bed masses within the open green space areas in lieu of individual plantings as conditions permit.
    - b. As a general policy, all highly visible landscaped areas frequented by the general public shall be irrigated. When these locations are unclear, the City Planner shall make the final determination as to the areas to be irrigated.
    - c. Replanting and replacement of existing plant materials will be executed on an annual basis as needed.

J. Exterior Storage of Materials

1. The outdoor storage of materials and displays is specifically prohibited.
2. All exterior refuse collection areas shall be screened with a six (6) foot high sight-proof fence or wall of either masonry or wood construction.

3. Sight-proof enclosures shall be constructed of materials that are visually compatible with the architectural treatment of the main buildings.
4. All exterior refuse collection areas shall be located and/or screened so as to result in the minimum visual exposure to the public right-of-way.

K. Access and Circulation

1. Access to Lot 5 - Westport Center shall be limited to a single full access driveway immediately adjacent to Lot 4.
2. Access to the 11444 Lackland Road building and parking area from Westport Center Drive shall be limited to service traffic only.
3. A Traffic Signage Plan shall be submitted as part of the amended Concept Plan indicating all directional signs for the access driveways referenced in this section for the review and approval of the City Engineer.
4. The design and location of all access drives is subject to the review and approval of the City Engineer.

L. Miscellaneous

1. A grading permit is required prior to any grading.
2. Interim stormwater drainage control in the form of siltation control measures may be required for any new grading activity.
3. No open storage other than vehicles used in association with the specific business or operation shall be permitted.
4. Conveyance of any portion of the site or establishment of any rights-of-way shall require compliance with the Subdivision Code.

M. Utilities: All new electric, telephone, television, and other communication lines servicing the site shall be installed underground in accordance with the prevailing standards and practices of the utility or other companies providing such services. Cable switching enclosures, pad mounted transformers, and service pedestals may be installed above ground. Any existing overhead utility supply lines shall be exempt from this requirement.

V. SIGN REQUIREMENTS

A. General Criteria: All signs shall be erected in accordance with the Sign Regulations of the Zoning Code in effect at the time of permit application, except as follows.

1. One (1) freestanding sign not to exceed seventy-five (75) square feet in area per face or twelve (12) feet in height above the finished grade shall be permitted at the principal entrance of the Planned District for the purpose of identifying the Planned Development and/or the occupants of the site.
2. No other outdoor advertising signs or billboards shall be permitted within the Planned District.
3. No portable signs, flags, or signs of a temporary nature are permitted except as special promotions as described in the Zoning Code.

4. No pole signs shall be permitted within the Planned District.

B. Office/Warehouse Signage (Lots 2, 3, and 4):

1. Lot 2: All signs shall be erected in accordance with the Sign Regulations of the Zoning Code in effect at the time of permit application.
2. Lot 3: City Planner review and approval of a sign package shall be required prior to issuance of sign permits.
  - a. Said sign package shall include the items required by the Zoning Code.
  - b. Said sign package shall be evaluated for compatibility with the building and site as well as consistency with the overall Planned District.
3. Lot 4: All signs shall be erected in accordance with the Sign Regulations of the Zoning Code in effect at the time of permit application.

**VI. VERIFICATION PRIOR TO APPROVAL**

Prior to the approval of any Site Improvement Plan(s), the developer shall provide verification of the following to the City Planner:

- A. Approval by the Missouri Department of Transportation (MoDOT) of required rights-of-way/easement dedications and roadway improvements.
- B. Approval of a plan by the Metropolitan St. Louis Sewer District indicating the effective handling of the stormwater drainage and sanitary sewage emanating from the site.

**VII. RECORDING**

The property owner shall record a copy of the approved Concept Plan, and any subsequent amendments thereto, with the St. Louis County Recorder of Deeds. Following the recording of the Concept Plan, two original copies of the plan bearing St. Louis County Recorder's signature, seal, and notation as to plat book and page shall be returned to the City before any permits for any manner of construction shall be issued. Failure to record the plan within the time specified in the conditions of the ordinance enacting the Planned District shall cause approval of the plan to terminate.

**VIII. LIMITATIONS**

- A. Failure to Commence Construction: Substantial work or construction shall commence within two (2) years of the effective date of approval of the Planned Development District, unless such time period is extended through appeal to and approval by the Planning and Zoning Commission.
- B. Abandonment: In the event the concept or site/improvement plans are not submitted within the time limits specified in the ordinance enacting the Planned Development District or a use authorized by a Planned Development District is abandoned, vacated and/or not utilized for a period of two (2) years, the zoning amendment may be terminated. If no extension of time is received or granted within six (6) months subsequent to the expiration of the two (2) period, the Planning and Zoning Commission shall review any changes in the zoning district map brought by the proposed development. If the Commission finds said changes inappropriate, the Commission shall recommended to the City Council that the map be revised in accordance with the procedures for changes and amendments.

- C. Extension of Development Schedule: The owner or owners may apply, at any time, to the Planning and Zoning Commission for an extension of the development schedule. The Planning and Zoning Commission shall act upon such extension.

**Section 4:** This Ordinance shall be in full force and effect from and after its passage and approval.

PASSED BY THE CITY COUNCIL THIS \_\_\_\_ DAY OF \_\_\_\_, 2023.

\_\_\_\_\_  
MAYOR/PRESIDING OFFICER

APPROVED BY THE MAYOR THIS \_\_\_\_ DAY OF \_\_\_\_, 2023.

\_\_\_\_\_  
MAYOR

ATTEST:

\_\_\_\_\_  
CITY CLERK



# Exhibit A - Land Use Matrix

Category			PDM
AGRICULTURE	111	CROP PRODUCTION	
	11511	Support Activities for Crop Production	P
UTILITIES	221	UTILITIES	
	221122	Electric Power Generation, Transmission, and Distribution	C
	221210	Natural Gas Distribution	C
	221211	Petroleum Pressure Control and Pumping Stations	C
	221310	Water Supply and Irrigation Systems	C
	221311	Water Storage Tanks and Reservoirs	C
	221313	Water Pressure Control and Pumping Stations	C
	221321	Sewage Pressure Control and Pumping Stations	C
CONSTRUCTION	236	BUILDING & DEVELOPMENT	
	236000	Outdoor Storage of Materials and Equipment	C
	236010	Building and General Contractor	C
	236011	Land Development Contractor	C
	236012	Building and General Contractor – Administrative Office	P
	23611	Residential Building Construction	C
	236118	Residential Remodelers	C
	236210	Industrial Building Construction	C
	236220	Commercial and Institutional Building Construction	C
	237	HEAVY AND CIVIL ENGINEERING CONSTRUCTION	
	237110	Water and Sewer Line and Related Structures Construction	C
	237120	Oil and Gas Pipeline and Related Structures Construction	C
	237130	Power and Communication Line and Related Structures Construction	C
	237310	Highway, Street, and Bridge Construction	C
	237320	Public Streets and Roads Garage	C
237990	Other Heavy and Civil Engineering Construction	C	



# Exhibit A - Land Use Matrix

Category		PDM	
CONSTRUCTION	237991	Other Heavy and Civil Engineering Construction - Administrative Office	P
	238	SPECIAL TRADE CONTRACTORS	
	238110	Poured Concrete Foundation and Structure Contractors	P
	238120	Structural Steel and Precast Concrete Contractors	P
	238130	Framing Contractors	P
	238140	Masonry Contractors	P
	238150	Glass and Glazing Contractors	P
	238160	Roofing Contractors	P
	238170	Siding Contractors	P
	238190	Other Foundation, Structure, and Building Exterior Contractors	P
	238210	Electrical Contractors and Other Wiring Installation Contractors	P
	238220	Plumbing, Heating, and Air-Conditioning Contractors	P
	238221	Sheet Metal Contractors	P
	238222	Fire Protection and Sprinkler System Contractors	P
	238290	Other Building Equipment Contractors	P
	238310	Drywall and Insulation Contractors	P
	238320	Painting and Wall Covering Contractors	P
	238330	Flooring Contractors	P
	238340	Tile and Terrazzo Contractors	P
	238350	Finish Carpentry Contractors	P
	238351	Window and Door Installation Contractors	P
	238352	Garage Door Installation Contractors	P
	238391	Furniture and Storage System Installers	P
238910	Site Preparation Contractors	P	
238911	Water Well Drilling Contractors	C	
238990	All Other Specialty Trade Contractors	C	
238991	Fence Installation Contractors	P	



# Exhibit A - Land Use Matrix

Category		PDM	
MANUFACTURING	311	FOOD PRODUCTS	
	311111	Animal Food Manufacturing	C
	311230	Breakfast Cereal Manufacturing	C
	311314	Sugar Manufacturing	C
	31135	Chocolate and Confectionary Manufacturing	C
	31141	Frozen Food Manufacturing	C
	311421	Fruit and Vegetable Canning	C
	311422	Specialty Canning	C
	311423	Dried and Dehydrated Food Manufacturing	C
	3115	Dairy Product Manufacturing	C
	31161	Meat Processing	C
	311710	Seafood Product Preparation and Packaging	C
	3118	Bakeries and Tortilla Manufacturing	C
	31191	Snack Food Manufacturing	C
	311920	Coffee and Tea Manufacturing	C
	311930	Flavoring Syrup and Concentrate Manufacturing	C
	31194	Seasoning and Dressing Manufacturing	C
	311991	Perishable Prepared Food Manufacturing	C
	312	BEVERAGE & TOBACCO PRODUCT MANUFACTURING	
	31211	Soft Drink, Water, and Ice Manufacturing	C
	312120	Breweries	C
	312130	Wineries	C
	312140	Distilleries	C
	313	TEXTILE MILLS	
	3131	Fiber, Yarn, and Thread Mills	P



# Exhibit A - Land Use Matrix

Category		PDM	
MANUFACTURING	314	TEXTILE PRODUCT MILLS	
	3141	Textile Finishing Mills	P
	315	APPAREL MANUFACTURING	
	3151	Apparel Knitting Mills	P
	3152	Cut and Sew Apparel Manufacturing	P
	315990	Apparel Accessories and Other Apparel Manufacturing	P
	316	LEATHER AND ALLIED PRODUCT MANUFACTURING	
	316110	Leather and Hide Tanning and Finishing	C
	316210	Footwear Manufacturing	P
	316992	Women's Handbag and Purse Manufacturing	P
	316998	All Other Leather Good and Allied Product Manufacturing	P
	321	WOOD PRODUCT MANUFACTURING	
	3212	Veneer, Plywood, and Engineered Wood Product Manufacturing	C
	32191	Millwork	C
	321911	Wood Window and Door Manufacturing	C
	321912	Cut Stock, Resawing Lumber, and Planing	C
	321920	Wood Container and Pallet Manufacturing	C
	321992	Prefabricated Wood Building Manufacturing	C
	321999	All Other Miscellaneous Wood Product Manufacturing	C
	322	PAPER MANUFACTURING	
	32212	Paper Mills	P
	322130	Paperboard Mills	P
	32221	Paperboard Container Manufacturing	P
	322220	Paper Bag and Coated and Treated Paper Manufacturing	P
	322230	Stationery Product Manufacturing	P
	322291	Sanitary Paper Product Manufacturing	P





# Exhibit A - Land Use Matrix

Category		PDM	
MANUFACTURING	323	PRINTING & RELATED SUPPORT ACTIVITIES	
	323111	Commercial Printing (except Screen and Books)	P
	323113	Commercial Screen Printing	
	323117	Books Printing	P
	323120	Support Activities for Printing	P
	324	PETROLEUM AND COAL PRODUCT MANUFACTURING	
	324121	Asphalt Paving Mixture and Block Manufacturing	C
	324122	Asphalt Shingle and Coating Materials Manufacturing	C
	325	CHEMICAL MANUFACTURING	
	325110	Petrochemical Chemical Manufacturing	C
	325130	Synthetic Dye and Pigment Manufacturing	C
	325180	Other Basic Inorganic Chemical Manufacturing	C
	32519	Other Basic Organic Chemical Manufacturing	C
	32521	Resin and Synthetic Rubber Manufacturing	C
	325220	Artificial and Synthetic Fibers and Filaments Manufacturing	C
	325314	Compost and Fertilizer (Mixing Only) Manufacturing	C
	325320	Pesticide and Other Agricultural Chemical Manufacturing	C
	325411	Medicinal and Botanical Manufacturing	C
	325412	Pharmaceutical Preparation Manufacturing	C
	325510	Paint and Coating Manufacturing	C
	325520	Adhesive Manufacturing	C
	325611	Soap and Other Detergent Manufacturing	C
	325620	Toilet Preparation Manufacturing	C
	325910	Printing Ink Manufacturing	C
	325998	All Other Miscellaneous Chemical Product and Preparation Manufacturing	C



# Exhibit A - Land Use Matrix

Category		PDM	
MANUFACTURING	326	PLASTIC AND RUBBER PRODUCTS MANUFACTURING	
	32611	Plastics Packaging Materials and Unlaminated Film and Sheet Manufacturing	C
	326121	Unlaminated Plastics Profile Shape Manufacturing	C
	326130	Laminated Plastics Plate, Sheet (except Packaging), and Shape Manufacturing	C
	326140	Polystyrene Foam Product Manufacturing	C
	326150	Urethane and Other Foam Product (except Polystyrene) Manufacturing	C
	326199	All Other Plastics Product Manufacturing	C
	326212	Tire Retreading	C
	326220	Rubber and Plastics Hoses and Belting Manufacturing	C
	32629	Other Rubber Product Manufacturing	C
	327	NONMETALLIC MINERAL PRODUCT MANUFACTURING	
	327110	Pottery, Ceramics, and Plumbing Fixture Manufacturing	C
	327120	Clay Building Material and Refractories Manufacturing	C
	32721	Glass and Glass Product Manufacturing	C
	327310	Cement Manufacturing	C
	327320	Ready-Mix Concrete Manufacturing	C
	327331	Concrete Block and Brick Manufacturing	C
	327332	Concrete Pipe Manufacturing	C
	327991	Cut Stone and Stone Product Manufacturing	C
	331	PRIMARY METAL MANUFACTURING	
	331110	Iron and Steel Mills and Ferroalloy Manufacturing	C
	332	FABRICATED METAL PRODUCT MANUFACTURING	
	33211	Forging and Stamping	C
	33221	Cutlery and Handtool Manufacturing	C
	332312	Fabricated Structural Metal Manufacturing	C
	332321	Metal Window and Door Manufacturing	C



# Exhibit A - Land Use Matrix

Category		PDM	
MANUFACTURING	332322	Sheet Metal Work Manufacturing	C
	332323	Ornamental and Architectural Metal Work Manufacturing	C
	33243	Metal Can, Box, and Other Metal Container Manufacturing	C
	332510	Hardware Manufacturing	C
	33261	Spring and Wire Product Manufacturing	C
	332710	Machine Shops	C
	332721	Precision Turned Product Manufacturing	C
	332722	Bolt, Nut, Screw, Rivet, and Washer Manufacturing	C
	33281	Coating, Engraving, Heat Treating, and Allied Activities	C
	33299	All Other Fabricated Metal Product Manufacturing	C
	333	MACHINERY AND EQUIPMENT	
	33311	Agricultural Implement Manufacturing	C
	333120	Construction Machinery Manufacturing	C
	333131	Mining Machinery and Equipment Manufacturing	C
	33324	Industrial Machinery Manufacturing	C
	33331	Commercial and Service Industry Machinery Manufacturing	C
	33341	Ventilation, Heating, Air-Conditioning, and Commercial Refrigeration Equipment Manufacturing	C
	33351	Metalworking Machinery Manufacturing	C
	33361	Engine, Turbine, and Power Transmission Equipment Manufacturing	C
	33391	Pump and Compressor Manufacturing	C
	33392	Material Handling Equipment Manufacturing	C
	33399	All Other General Purpose Machinery Manufacturing	C
	334	COMPUTER AND ELECTRONIC PRODUCT MANUFACTURING	
	33411	Computer and Peripheral Equipment Manufacturing	C
	3342	Communications Equipment Manufacturing	C
	33431	Audio and Video Equipment Manufacturing	C



# Exhibit A - Land Use Matrix

Category		PDM	
MANUFACTURING	33441	Semiconductor and Other Electronic Component Manufacturing	C
	33451	Navigational, Measuring, Electromedical, and Control Instruments Manufacturing	C
	334519	Watch, Clock, and Related Part Manufacturing	P
	334613	Blank Magnetic and Optical Recording Media Manufacturing	P
	334614	Software and Other Prerecorded Compact Disc, Tape, and Record Reproducing	P
	335	ELECTRICAL EQUIPMENT, APPLIANCE, AND COMPONENT MANUFACTURING	
	335110	Electric Lamp Bulb and Part Manufacturing	C
	33512	Lighting Fixture Manufacturing	C
	335210	Small Electrical Appliance Manufacturing	C
	33522	Major Appliance Manufacturing	C
	33531	Electrical Equipment Manufacturing	C
	33591	Battery Manufacturing	C
	335921	Fiber Optic Cable Manufacturing	C
	33593	Wiring Device Manufacturing	C
	33599	All Other Electrical Equipment and Component Manufacturing	C
	336	TRANSPORTATION EQUIPMENT MANUFACTURING	
	3361	Motor Vehicle Manufacturing	P
	33621	Motor Vehicle Body and Trailer Manufacturing	C
	3363	Motor Vehicle Parts Manufacturing	P
	33641	Aerospace Product and Parts Manufacturing	C
	336991	Motorcycle, Bicycle, and Parts Manufacturing	C
	337	FURNITURE & RELATED PRODUCTS	
	337110	Wood Kitchen Cabinet and Countertop Manufacturing	P
	33712	Household and Institutional Furniture Manufacturing	P
	33721	Office Furniture Manufacturing	P
	337212	Custom Architectural Woodwork and Millwork Manufacturing	P



# Exhibit A - Land Use Matrix

Category		PDM	
MANUFACTURING	337215	Showcase, Partition, Shelving, and Locker Manufacturing	P
	337910	Mattress Manufacturing	P
	337920	Blind and Shade Manufacturing	P
	339	MISCELLANEOUS MANUFACTURING	
	339112	Surgical and Medical Instrument Manufacturing	P
	339113	Surgical Appliance and Supplies Manufacturing	P
	339114	Dental Equipment and Supplies Manufacturing	P
	339115	Ophthalmic Goods Manufacturing	P
	339116	Dental Laboratories	P
	339910	Jewelry and Silverware Manufacturing	P
	339920	Sporting and Athletic Goods Manufacturing	P
	339930	Doll, Toy, and Game Manufacturing	P
	339940	Office Supplies (except Paper) Manufacturing	P
	339950	Sign Manufacturing	C
	339992	Musical Instrument Manufacturing	P
	339993	Fastener, Button, Needle, and Pin Manufacturing	P
	339994	Broom, Brush, and Mop Manufacturing	P
	339995	Burial Casket Manufacturing	P
	WHOLESALE TRADE	423	DURABLE GOODS MERCHANT WHOLESALERS
4231		Motor Vehicle and Motor Vehicle Parts and Supplies Merchant Wholesalers	P
423130		Tire and Tube Merchant Wholesalers	P
423210		Furniture Merchant Wholesalers	P
423220		Home Furnishing Merchant Wholesalers	P
423310		Lumber, Plywood, Millwork, and Wood Panel Merchant Wholesalers	C
423320		Brick, Stone, and Related Construction Material Merchant Wholesalers	C
423330		Roofing, Siding, and Insulation Material Merchant Wholesalers	C



# Exhibit A - Land Use Matrix

Category		PDM	
WHOLESALE TRADE	423410	Photographic Equipment and Supplies Merchant Wholesalers	P
	423420	Office Equipment Merchant Wholesalers	P
	423430	Computer and Computer Peripheral Equipment and Software Merchant Wholesalers	P
	423440	Other Commercial Equipment Merchant Wholesalers	P
	423450	Medical, Dental, and Hospital Equipment and Supplies Merchant Wholesalers	P
	423460	Ophthalmic Goods Merchant Wholesalers	P
	423490	Other Professional Equipment and Supplies Merchant Wholesalers	P
	423510	Metal Service Centers and Other Metal Merchant Wholesalers	P
	423610	Electrical Apparatus and Equipment, Wiring Supplies, and Related Equipment Merchant Wholesalers	P
	423620	Household Appliances, Electric Housewares and Consumer Electronics Merchant Wholesalers	P
	423710	Hardware Merchant Wholesalers	P
	423720	Plumbing and Heating Equipment and Supplies (Hydronics) Merchant Wholesalers	P
	423730	Warm Air Heating and Air-Conditioning Equipment and Supplies Merchant Wholesalers	P
	423810	Construction and Mining (except Oil Well) Machinery and Equipment Merchant Wholesalers	C
	423820	Farm and Garden Machinery and Equipment Merchant Wholesalers	C
	423830	Industrial Machinery and Equipment Merchant Wholesalers	P
	423840	Industrial Supplies Merchant Wholesalers	P
	423850	Service Establishment Equipment and Supplies Merchant Wholesalers	P
	423860	Transportation Equipment and Supplies (except Motor Vehicle) Merchant Wholesalers	P
	423910	Sporting and Recreational Goods and Supplies Merchant Wholesalers	P
	423911	Swimming Pool and Spa Equipment Merchant Wholesalers	P
	423912	Firearms, Sporting, Merchant Wholesalers	P
	423920	Toy and Hobby Goods and Supplies Merchant Wholesalers	P
	423940	Jewelry, Watch, Precious Stone, and Precious Metal Merchant Wholesalers	P
	423950	Pre-Recorded Audio and Video Tapes and Discs Merchant Wholesalers	P
	423990	Other Miscellaneous Durable Goods Merchant Wholesalers	C



# Exhibit A - Land Use Matrix

Category		PDM	
WHOLESALE TRADE	424	NONDURABLE GOODS MERCHANT WHOLESALERS	
	4241	Paper and Paper Product Merchant Wholesalers	P
	424130	Disposable Plastics Products Merchant Wholesalers	P
	424210	Drugs and Druggists' Sundries Merchant Wholesalers	P
	4243	Apparel, Piece Goods, and Notions Merchant Wholesalers	P
	424340	Footwear Merchant Wholesalers	P
	424410	General Line Grocery Merchant Wholesalers	P
	424420	Packaged Frozen Food Merchant Wholesalers	P
	424430	Dairy Product (except Dried or Canned) Merchant Wholesalers	P
	424440	Poultry and Poultry Product Merchant Wholesalers	P
	424450	Confectionery Merchant Wholesalers	P
	424460	Fish and Seafood Merchant Wholesalers	P
	424470	Meat and Meat Product Merchant Wholesalers	P
	424480	Fresh Fruit and Vegetable Merchant Wholesalers	P
	424491	Pet Supplies and Related Products Merchant Wholesalers	P
	4246	Chemical and Allied Products Merchant Wholesalers	C
	4247	Petroleum and Petroleum Products Merchant Wholesalers	C
	424810	Beer and Ale Merchant Wholesalers	P
	424820	Wine and Distilled Alcoholic Beverage Merchant Wholesalers	P
	424910	Farm Supplies Merchant Wholesalers	P
	424920	Book, Periodical, and Newspaper Merchant Wholesalers	P
	424930	Flower, Nursery Stock, and Florists' Supplies Merchant Wholesalers	P
	424940	Tobacco and Tobacco Product Merchant Wholesalers	P
	424950	Paint, Varnish, and Supplies Merchant Wholesalers	P
424992	Canvas, Burlap, and Other Textile Fabric Merchant Wholesalers	P	
424993	Artists' Supplies Merchant Wholesalers	P	



# Exhibit A - Land Use Matrix

Category		PDM	
RETAIL TRADE	441	MOTOR VEHICLE & PARTS DEALERS	
	441110	New Car Dealers	C
	441120	Used Car Dealers	C
	441210	Recreational Vehicle Dealers	C
	441222	Boat Dealers	C
	441228	Motorcycle, ATV, and All Other Motor Vehicle Dealers	C
	441310	Automotive Parts and Accessories Stores	C
	441320	Tire Dealers	C
	442	FURNITURE & HOME FURNISHINGS	
	442110	Furniture Stores	P
	442210	Floor Covering Stores	P
	44229	Other Home Furnishings Stores	P
	443	ELECTRONICS & APPLIANCES	
	443141	Household Appliance Stores	P
	443142	Electronics Stores	P
	443143	Camera Shops	P
	443144	Cellular Telephone Stores	P
	443145	Computer and Software Stores	P
	443146	Prerecorded Music and Movie Stores	P
	444	BUILDING MATERIAL AND GARDEN EQUIPMENT AND SUPPLIES DEALERS	
	444000	Outdoor Display and Sales of Retail Products	C
	444110	Home Centers	C
	444120	Paint and Wallpaper Stores	P
	444130	Hardware Stores	C
	444190	Other Building Material Dealers	C
	444191	Electrical Supplies Stores	P





# Exhibit A - Land Use Matrix

Category		PDM	
RETAIL TRADE	444192	Heating and Plumbing Equipment and Supplies Stores	P
	444193	Kitchen and Bath Material Stores	P
	444210	Outdoor Power Equipment Stores	C
	445	FOOD AND BEVERAGE STORES	
	445110	Supermarkets and Other Grocery (except Convenience) Stores	C
	445120	Convenience Stores	C
	445210	Meat Markets	P
	445220	Fish and Seafood Markets	P
	445230	Fruit and Vegetable Markets	P
	445291	Baked Goods Stores	P
	445292	Confectionery and Nut Stores	P
	445299	All Other Specialty Food Stores	P
	445310	Beer, Wine, and Liquor Stores	P
	446	HEALTH AND PERSONAL CARE	
	446110	Pharmacies and Drug Stores	P
	446111	Pharmacies and Drug Stores with Drive Through Services	C
	446120	Cosmetics, Beauty Supplies, and Perfume Stores	P
	446130	Optical Goods Stores	P
	446191	Food (Health) Supplement Stores	P
	446199	All Other Health and Personal Care Stores	P
	447	GASOLINE STATIONS	
	447110	Gasoline Stations with Convenience Stores	C
	447111	Gasoline Stations with Car Washes	C
	447190	Other Gasoline Stations	C
	448	CLOTHING AND CLOTHING ACCESSORY STORES	
	4481	Clothing Stores	P



# Exhibit A - Land Use Matrix

Category		PDM	
RETAIL TRADE	448150	Clothing Accessories Stores	P
	448190	Other Clothing Stores	P
	448210	Shoe Stores	P
	448310	Jewelry Stores	P
	448320	Luggage and Leather Goods Stores	P
	451	SPORTING GOODS, HOBBY, AND BOOK STORES	
	451110	Sporting Goods Stores	P
	451120	Hobby, Toy, and Game Stores	P
	451130	Sewing, Needlework, and Piece Goods Stores	P
	451140	Musical Instrument and Supplies Stores	P
	451211	Book Stores	P
	451212	News Dealers and Newsstands	P
	452	GENERAL MERCHANDISE STORES	
	452111	Department Stores (except Discount Department Stores)	C
	452112	Discount Department Stores	C
	452910	Warehouse Clubs and Supercenters	C
	452990	All Other General Merchandise Stores	P
	452991	Dollar Stores and Limited Price Variety Stores	P
	453	MISCELLANEOUS STORE RETAILERS	
	453110	Florists	P
	453210	Office Supplies and Stationery Stores	P
	453220	Gift, Novelty, and Souvenir Stores	P
	453311	Antique Dealers (Except Motor Vehicles)	C
	453910	Pet and Pet Supplies Stores	P
	453920	Art Dealers	C
	453991	Tobacco Stores	P



# Exhibit A - Land Use Matrix

Category		PDM	
RETAIL TRADE	453998	All Other Miscellaneous Store Retailers	P
	453999	Swimming Pool Equipment and Supply Stores	C
	454	NONSTORE RETAILERS	
	45411	Electronic Shopping and Mail-Order Houses	P
	454210	Vending Machine Operators	P
	454310	Fuel Dealers	C
	454390	Other Direct Selling Establishments	P
	454391	Seasonal Produce Truck, Trailer, or Cart	P
TRANSPORT SERVICES	481	AIR TRANSPORTATION	
	481214	Helicopter Landing & Takeoff Pads	C
	484	SURFACE TRANSPORTATION	
	4841	General Freight Trucking	C
	4842	Specialized Freight Trucking	C
	484210	Used Household and Office Goods Moving	C
	485	TRANSIT AND GROUND PASSENGER TRANSPORTATION	
	485111	Mixed Mode Transit Systems	C
	485112	Commuter Rail Systems	C
	485113	Bus and Other Motor Vehicle Transit Systems	C
	485210	Interurban and Rural Bus Transportation	C
	485310	Taxi Service	C
	485320	Limousine Service	C
	485991	Special Needs Transportation	C
	488	TRANSPORTATION SUPPORT SERVICES	
	488410	Motor Vehicle Towing	C
	488491	Administrative Offices - Transportation Services	P
	488492	Fueling Dispensers - Transportation Services	C



# Exhibit A - Land Use Matrix

Category		PDM	
TRANSPORT SERVICES	488493	Other Support Activities for Road Transportation	C
	488510	Freight Transportation Arrangement	C
	488991	Packing and Crating	C
POSTAL	491	POSTAL SERVICES	
	491110	Postal Service	P
	492110	Couriers and Express Delivery Services	P
	492210	Local Messengers and Local Delivery	P
STORAGE FACILITIES	493	WAREHOUSING & STORAGE	
	493110	General Warehousing and Storage	C
	493120	Refrigerated Warehousing and Storage	C
	493130	Farm Product Warehousing and Storage	C
INFORMATION SERVICES	511	PUBLISHING INDUSTRIES (EXCEPT INTERNET)	
	511110	Newspaper Publishers	P
	511120	Periodical Publishers	P
	511130	Book Publishers	P
	511140	Directory and Mailing List Publishers	P
	511191	Greeting Card Publishers	P
	511210	Software Publishers	P
	512	MOTION PICTURE & SOUND RECORDING INDUSTRIES	
	512120	Motion Picture and Video Distribution	P
	51213	Motion Picture and Video Exhibition	P
	512210	Record Production	C
	512230	Music Publishers	P
	512240	Sound Recording Studios	P
	515	BROADCASTING (EXCEPT INTERNET)	
	51511	Radio Broadcasting	C



# Exhibit A - Land Use Matrix

Category		PDM	
INFORMATION SERVICES	515119	Radio Broadcasting Towers and Antennas	C
	515120	Television Broadcasting	C
	515129	Television Broadcasting Towers and Antennas	C
	515210	Cable and Other Subscription Programming	C
	517110	Wired Telecommunications Carriers	P
	517210	Wireless Telecommunications Carriers (except Satellite)	P
	517219	Wireless Telecommunications Towers and Antennas	C
	517410	Satellite Telecommunications	C
	517911	Telecommunications Resellers	P
	517919	Telecommunications - Administrative Office	P
	518210	Data Processing, Hosting, and Related Services	P
	519	INFORMATION & DATA PROCESSING SERVICES	
	519110	News Syndicates	P
	519120	Libraries and Archives	C
	519130	Internet Publishing and Broadcasting and Web Search Portals	P
	519190	All Other Information Services	P
FINANCIAL	522	BANKING SERVICES	
	522110	Commercial Banking	P
	522111	Commercial Banking with Drive Through Services	C
	522113	Automated Teller Machines (Freestanding)	C
	522120	Savings Institutions	P
	522121	Savings Institutions with Drive Through Services	C
	522130	Credit Unions	P
	522131	Credit Unions with Drive Through Services	C
	522210	Credit Card Issuing	P
	522220	Sales Financing	P



# Exhibit A - Land Use Matrix

Category		PDM	
FINANCIAL	522291	Consumer Lending	P
	522310	Mortgage and Nonmortgage Loan Brokers	P
	522320	Financial Transactions Processing, Reserve, and Clearinghouse Activities	P
	523	SECURITIES, COMMODITY CONTRACTS, AND OTHER FINANCIAL INVESTMENTS AND RELATED ACTIVITIES	
	5231	Securities and Commodity Contracts Intermediation and Brokerage	P
	5239	Other Financial Investment Activities	P
	524	INSURANCE CARRIERS	
	5241	Insurance Carriers	P
	524210	Insurance Agencies and Brokerages	P
	524291	Claims Adjusting	P
	525120	Health and Welfare Funds	P
	525190	Other Insurance Funds	P
	REAL ESTATE	531	REAL ESTATE
5311		Lessors of Real Estate	P
531210		Offices of Real Estate Agents and Brokers	P
53131		Real Estate Property Managers	P
531320		Offices of Real Estate Appraisers	P
531390		Other Activities Related to Real Estate	P
RENTAL SERVICES	532	RENTAL & LEASING SERVICES	
	532000	Outdoor Display of Rental Equipment	C
	53211	Passenger Car Rental and Leasing	C
	532120	Truck, Utility Trailer, and RV (Recreational Vehicle) Rental and Leasing	C
	532210	Consumer Electronics and Appliances Rental	P
	532220	Formal Wear and Costume Rental	P
	532230	Video Tape and Disc Rental	P
	532291	Home Health Equipment Rental	P



# Exhibit A - Land Use Matrix

Category		PDM	
RENTAL SERVICES	532292	Recreational Goods Rental	P
	532299	All Other Consumer Goods Rental	P
	532310	General Rental Centers	P
	5324	Commercial and Industrial Machinery and Equipment Rental and Leasing	P
PROFESSIONAL	541	PROFESSIONAL & TECHNICAL SERVICE	
	5411	Legal Services	P
	54121	Accounting, Tax Preparation, Bookkeeping, and Payroll Services	P
	541310	Architectural Services	P
	541320	Landscape Architectural Services	P
	541330	Engineering Services	P
	541340	Drafting Services	P
	541350	Building Inspection Services	P
	541360	Geophysical Surveying and Mapping Services	P
	541380	Testing Laboratories	P
	541410	Interior Design Services	P
	541420	Industrial Design Services	P
	541430	Graphic Design Services	P
	541511	Custom Computer Programming Services	P
	541512	Computer Systems Design Services	P
	541513	Computer Facilities Management Services	P
	541611	Administrative Management and General Management Consulting Services	P
	541612	Human Resources Consulting Services	P
	541613	Marketing Consulting Services	P
	541620	Environmental Consulting Services	P
541690	Other Scientific and Technical Consulting Services	P	
541711	Research and Development in Biotechnology	P	



# Exhibit A - Land Use Matrix

Category		PDM	
PROFESSIONAL	541712	Research and Development in the Physical, Engineering, and Life Sciences (except Biotechnology)	P
	541810	Advertising Agencies	P
	541820	Public Relations Agencies	P
	541830	Media Buying Agencies	P
	541840	Media Representatives	P
	541850	Outdoor Advertising	C
	541860	Direct Mail Advertising	P
	541870	Advertising Material Distribution Services	P
	541890	Other Services Related to Advertising	P
	541910	Marketing Research and Public Opinion Polling	P
	541921	Photography Studios, Portrait	P
	541922	Commercial Photography	P
	541930	Translation and Interpretation Services	P
	541940	Veterinary Services	C
541990	All Other Professional, Scientific, and Technical Services	C	
MANAGEMENT	551	MANAGEMENT OF COMPANIES AND ENTERPRISES	
	551111	Offices of Bank Holding Companies	P
	551112	Offices of Other Holding Companies	P
	551114	Corporate, Subsidiary, and Regional Managing Offices	P
ADMINISTRATION	561	ADMINISTRATIVE & SUPPORT SERVICES	
	561110	Office Administrative Services	P
	561311	Employment Placement Agencies	P
	561410	Document Preparation Services	P
	561421	Telephone Answering Services	P
	561422	Telemarketing Bureaus and Other Contact Centers	P
	561431	Private Mail Centers	P





# Exhibit A - Land Use Matrix

Category		PDM	
ADMINISTRATION	561439	Other Business Service Centers (including Copy Shops)	P
	561440	Collection Agencies	P
	561450	Credit Bureaus	P
	561491	Repossession Services	C
	561492	Court Reporting and Stenotype Services	P
	561510	Travel Agencies	P
	561611	Investigation Services	P
	561612	Security Guards and Patrol Services	P
	561613	Armored Car Services	P
	561621	Security Systems Services (except Locksmiths)	P
	561622	Locksmiths	P
	561710	Exterminating and Pest Control Services	P
	561720	Janitorial Services	P
	561730	Landscaping Services	C
	561740	Carpet and Upholstery Cleaning Services	P
	561791	Pool Management and Service Companies	C
	561792	Snow Plowing Driveways and Parking Lots (not combined with any other service)	C
	561793	Building Exterior Cleaning Services	C
	561910	Packaging and Labeling Services	P
	561920	Convention and Trade Show Organizers	P
562	WASTE MANAGEMENT AND REMEDIATION SERVICES		
562110	Waste Management Services - Administrative Offices	P	
562991	Septic Tank and Related Services	C	
EDUCATION	611	EDUCATIONAL SERVICES	
	611210	Junior Colleges	P
	611310	Colleges, Universities, and Professional Schools	P



# Exhibit A - Land Use Matrix

Category		PDM	
EDUCATION	611410	Business and Secretarial Schools	P
	611420	Computer Training	P
	611430	Professional and Management Development Training	P
	61151	Technical and Trade Schools	P
	611610	Fine Arts Schools	P
	611620	Sports and Recreation Instruction	P
	611630	Language Schools	P
	611691	Exam Preparation and Tutoring	P
	611692	Automobile Driving Schools	P
	611710	Educational Support Services	P
HEALTH CARE	621	AMBULATORY HEALTH CARE SERVICES	
	621111	Offices of Physicians	P
	621112	Offices of Mental Health Specialists	P
	621210	Offices of Dentists	P
	621310	Offices of Chiropractors	P
	621320	Offices of Optometrists	P
	621340	Offices of Physical, Occupational and Speech Therapists, and Audiologists	P
	621391	Offices of Podiatrists	P
	621410	Family Planning Centers	P
	621420	Outpatient Mental Health and Substance Abuse Centers	C
	621491	HMO Medical Centers	P
	621492	Kidney Dialysis Centers	P
	621493	Freestanding Ambulatory Surgical and Emergency Centers	P
	621498	All Other Outpatient Care Centers	P
	621511	Medical Laboratories	P
621512	Diagnostic Imaging Centers	P	



# Exhibit A - Land Use Matrix

Category		PDM	
HEALTH CARE	621610	Home Health Care Services	P
	621910	Ambulance Services	C
	621991	Blood and Organ Banks	P
	621999	All Other Miscellaneous Ambulatory Health Care Services	P
	622	HOSPITALS	
	622110	General Medical and Surgical Hospitals	C
	622210	Psychiatric and Substance Abuse Hospitals	C
	622310	Specialty Hospitals	C
	624	SOCIAL ASSISTANCE	
	624110	Child and Youth Services	P
	624120	Services for the Elderly and Persons with Disabilities	P
	624190	Other Individual and Family Services	P
	624310	Vocational Rehabilitation Services	P
	624410	Child Day Care Services	C
ARTS & RECREATION	711	PERFORMING ARTS & SPECTATOR SPORTS AND RELATED INDUSTRIES	
	7111	Performing Arts Companies	P
	711140	General Cultural and Entertainment Programs	C
	711150	Auditoriums	C
	711160	Exhibition Halls and Conference Centers	C
	711320	Promoters of Performing Arts, Sports, and Similar Events without Facilities	P
	711410	Agents and Managers for Artists, Athletes, Entertainers, and Other Public Figures	P
	712	MUSEUMS, HISTORICAL SITES, AND SIMILAR INSTITUTIONS	
	712110	Museums	C
	712191	Privately-Owned Parks	P
	712192	Publicly-Owned Parks	P



# Exhibit A - Land Use Matrix

Category		PDM	
<b>ARTS &amp; RECREATION</b>	713	AMUSEMENT, GAMBLING, AND RECREATION INDUSTRIES	
	713940	Fitness and Recreational Sports Centers	C
	713942	Indoor Racquet Sports Courts	C
	713945	Municipal Recreation Facilities	P
	713950	Bowling Centers	C
	713994	Bikeway	P
	713995	Walkway	P
<b>HOSPITALITY</b>	721	ACCOMMODATION	
	721110	Hotels	C
	721111	Hotels, Extended Stay	C
	721112	Hotels, Limited Service	C
	722	FOOD SERVICES AND DRINKING PLACES	
	722000	Outdoor Restaurant Seating (LOT 1 ONLY)	P
	722310	Food Service Contractors	P
	722320	Caterers	P
	722329	Banquet Facilities	C
	722330	Food Truck, Trailer, or Cart	P
	722410	Bars and Taverns (Drinking Places)	C
	722511	Full-Service Restaurants	C
	722513	Take Out Restaurants	C
	722514	Cafeterias, Grill Buffets, and Buffets	C
	722515	Snack and Nonalcoholic Beverage Bars	P
	722516	Fast Food Restaurants	C
	722517	Fast Food Restaurants with Drive Through Services	C
	722518	Entertainment Restaurants	C
	722519	Microbreweries/Wineries	C
	722520	Night Clubs	C



# Exhibit A - Land Use Matrix

Category		PDM	
PERSONAL SERVICES	811	REPAIR SERVICES AND MAINTENANCES	
	811111	General Automotive Repair and Maintenance	C
	811112	Automotive Exhaust System Repair and Maintenance	C
	811113	Automotive Transmission Repair and Maintenance	C
	811121	Automotive Body, Paint, and Interior Repair and Maintenance	C
	811122	Automotive Glass Replacement Shops	C
	811191	Automotive Oil Change and Lubrication Shops	C
	811192	Car Washes	C
	811193	Automobile and Truck Detailing	C
	81121	Electronic and Precision Equipment Repair and Maintenance	P
	811310	Commercial and Industrial Machinery and Equipment (except Automotive and Electronic) Repair and Maintenance	C
	811311	Commercial and Industrial Machinery and Equipment Repair and Maintenance - Administrative Offices	P
	811312	Miscellaneous Engine Repair	C
	811411	Home and Garden Equipment Repair and Maintenance	C
	811412	Appliance Repair and Maintenance	P
	811420	Reupholstery and Furniture Repair	P
	811430	Footwear and Leather Goods Repair	P
	811490	Other Personal and Household Goods Repair and Maintenance	C
	811491	Watch, Clock, and Jewelry Repair	P
	811492	Tailoring Services	P
	812	PERSONAL & LAUNDRY SERVICES	
	812111	Barber Shops	P
	812112	Beauty Salons	P
	812113	Nail Salons	P
	812191	Diet and Weight Reducing Centers	P
	812192	Tanning Salons	P



# Exhibit A - Land Use Matrix

Category		PDM	
PERSONAL SERVICES	812193	Hair Replacement Services	P
	812210	Funeral Homes and Funeral Services	P
	812310	Coin-Operated Laundries and Drycleaners	P
	812321	Drycleaning and Laundry Services (Pick Up)	P
	812322	Drycleaning and Laundry Services (Delivery)	P
	812323	Drycleaning Plants	C
	812331	Linen Supply	P
	812332	Industrial Launderers	P
	812910	Pet Care (except Veterinary) Services	P
	812921	Photofinishing Laboratories (except One-Hour)	P
	812922	One-Hour Photofinishing	P
	812930	Parking Lots and Garages	C
	812991	Dating Services	P
	812992	Party Planning Services	P
ORGANIZATIONS	813	RELIGIOUS, GRANTMAKING, CIVIC, PROFESSIONAL, AND SIMILAR ORGANIZATIONS	
	813110	Places of Worship	P
	813111	Religious Organization Administrative Offices	P
	813210	Grantmaking Foundations	P
	813211	Grantmaking Foundations - Administrative Offices	P
	813212	Voluntary Health Organizations	P
	81331	Environmental and Natural Resource Preservation Advocacy Organizations	C
	81332	Animal Rights and Welfare Organizations and Humane Societies	C
	81333	Environmental and Natural Resource Preservation Advocacy Organizations Administrative Office	P
	813410	Civic and Social Organizations	P
	813910	Business Associations	P
	813920	Professional Organizations	P



# Exhibit A - Land Use Matrix

Category			PDM
ORGANIZATIONS	813930	Labor Unions and Similar Labor Organizations	P
	813940	Political Organizations	P
PUBLIC ADMINISTRATION	921	EXECUTIVE, LEGISLATIVE, AND OTHER GENERAL GOVERNMENT SUPPORT	
	92111	Governmental Offices	P
	922	JUSTICE & PUBLIC SAFETY	
	922120	Police Protection	P
	922160	Fire Protection	C
	922190	Other Justice, Public Order, and Safety Activities	C
	924110	Administration of Environmental Quality Programs	C

**BILL NO.**

**ORDINANCE NO. 2023-DRAFT**

**AN ORDINANCE ENACTING A “PDM” PLANNED DISTRICT TO ALLOW THE EXPANSION OF THE MANUFACTURING FACILITY AT 11436-11606 LACKLAND ROAD  
(Petition of Air Products & Chemicals, Inc.)**

**WHEREAS**, Public Hearings were held before the Planning Commission regarding the proposed Planned District; and

**WHEREAS**, the Planning Commission has found that the Conceptual Development Plan of the proposed Planned District is consistent with the Comprehensive Plan; and

**WHEREAS**, the Planning Commission has found that the proposed Planned District advances the purpose and intent of the Comprehensive Plan; and

**WHEREAS**, the Planning Commission has recommended approval of regulatory standards to guide the future development of the Planned District; and

**WHEREAS**, the City Council has reviewed the recommendation of the Commission and has determined that the proposed ordinance is in the best interest of the City.

**NOW THEREFORE**, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MARYLAND HEIGHTS, MISSOURI, AS FOLLOWS:

**Section 1:** The zoning of real estate in the City of Maryland Heights for 9.111 acres of land located at the southwest corner of Lackland Road and Westport Center Drive, as more specifically described below, is hereby zoned "PDM" Planned District – Manufacturing on the condition that said development is carried out in accordance with this Ordinance. This zoning shall be recorded on the Official Zoning Map of the City based on the following description:

A tract of land being all of Lot 1 of the Westport Center Subdivision, as recorded in Plat Book 346, Page 730 and Adjusted Lot 2 of the Boundary Adjustment Plat, as recorded in Plat Book 346 Pages 449-450 located in U.S. Survey 357, Township 46 North, Range 5 East of the Fifth Principal Meridian, City of Maryland Heights, St. Louis County, Missouri being more particularly described as follows: Beginning at the a found Iron Pipe located at the northeast corner Lot 2 of above said Westport Center, said point also being located On the western right-of-way line of Westport Center Drive, variable width; thence along the north lines of Lot 2 and Common Ground of Westport Center Subdivision, the following courses and distances: North 76 degrees 36 minutes 48 seconds West, 15.01 feet; South 11 degrees 18 minutes 53 seconds West, 9.60 feet; South 13 degrees 23 minutes 12 seconds West, 0.41 feet; North 76 degrees 36 minutes 48 seconds West, 9.99 feet; North 11 degrees 18 minutes 53 seconds East, 10.01 feet; North 76 degrees 36 minutes 48 seconds West, 152.09 feet; South 13 degrees 20 minutes 02 seconds West, 125.00 feet; North 76 degrees 40 minutes 31 seconds West, 290.37 feet; North 14 degrees 37 minutes 51 seconds West, 169.82 feet and North 76 degrees 40 minutes 3 seconds West, 362.25 feet to the westernmost corner of said Adjusted Lot 2; thence along the western lines of said Adjusted Lot 2 the following courses and distances: North 32 degrees 54 minutes 05 seconds East, 480.78 feet and North 39 degrees 15 minutes 18 seconds West, 21.39 feet to the southern right-of-way line of Lackland Road, variable width; thence along said right-of-way line the following courses and distances: North 86 degrees 13 minutes 42 seconds East, 43.80 feet; South 76 degrees 39 minutes 15 seconds East, 99.28 feet to the beginning of a non-tangential curve to the right having a radius of 905.00 feet and a chord which bears South 64 degrees 29 minutes 24 seconds East, 183.23 feet, an arc distance of 183.55 feet; South 58 degrees 40 minutes 47 seconds East, 223.45 feet to the beginning of a curve to the left having a radius of 725.00 feet; along said curve with an arc length of 188.82 feet and a chord which bears South 66 degrees 08 minutes 27 seconds East, 188.28 feet to the beginning of a non-tangent curve to the right having a radius of 79.00 feet; along said curve with an arc length of 80.10 feet and a chord which bears South 15 degrees 31 minutes 33



seconds East, 76.71 feet to the western right-of-way line of above said Westport Center Drive; thence along said right-of-way line, South 11 degrees 18 minutes 53 seconds West, 294.88 feet to the POINT OF BEGINNING. Containing 396,881 square feet or 9.111 acres, more or less.

## **Section 2: Purpose**

The purpose of this Planned District is to facilitate the expansion of the Air Products & Chemicals facility at 11436-11606 Lackland Road. This ordinance is intended to provide flexibility in the development of the property to create a business campus resulting in an increase of high quality jobs.

**Section 3:** This zoning is subject to all applicable City ordinances, and the conditions that follow:

### **I. PERMITTED USES**

The following uses shall be permitted, subject to the limitations of this ordinance:

- A. All uses permitted in the “M-1” Office, Service, and Light Manufacturing District.
- B. Navigational, Measuring, Electromedical, and Control Instruments Manufacturing (Land Use Code [LUC] 33451).
- C. Artificial and Synthetic Fibers and Filaments Manufacturing (LUC 325220).
- D. Industrial Gas Manufacturing (LUC 325120), specializing in gas separation/purification equipment at this location.

### **II. PLAN SUBMITTAL REQUIREMENTS**

#### **A. Final Development Plan**

- 1. Within six (6) months of approval of this Planned District and prior to the issuance of a building permit, the Final Development Plan shall be submitted to the City Planner for review and approval. Where due cause is shown by the applicant, the time interval may be extended by the City Planner.
- 2. The Final Development Plan shall meet the requirements of Section 25-6.10, Final Development Plan, and Section 25-16.5, Landscape Plan Requirements, of the Zoning Code.
- 3. Recording - Within fifteen (15) days from the approval of the Final Development Plan, and prior to the issuance of any building permit, the property owner shall record a copy of the approved Final Development Plan, and any subsequent amendments thereto, with the St. Louis County Recorder of Deeds. Upon written request, this time period may be extended by the City Planner. An electronic copy of the recorded plan shall also be provided to the Department of Community Development.

#### **B. Site Improvement Plans**

- 1. Prior to issuance of a building or grading permit, Site Improvement Plans shall be submitted for the review and approval of the City Planner and City Engineer prior to, or concurrent with, the Building Permit application submittal.
- 2. Prior to approval of the Site Improvement Plans, verification of necessary approvals from the Metropolitan St. Louis Sewer District (MSD), Missouri Department of Transportation (MoDOT), and Creve Coeur Fire Protection District shall be received by the City Planner and City Engineer.

### III. SPECIFIC DEVELOPMENT REQUIREMENTS

- A. Building Height – Height limitations shall be in accordance with the “M-1” Office, Service, and Light Manufacturing District.
- B. Structure Setbacks - No structures, except dumpster enclosures, fences, retaining walls, light standards, signage or other structures as otherwise approved on the Final Development Plan shall be located within the following setbacks:
1. Fifteen (15) feet from the Lackland Road right-of-way.
  2. Fifteen (15) feet from the Westport Center Road right-of-way.
  3. Ten (10) feet from the southern and southwestern limits of this Planned District.
  4. Ten (10) feet from the western limits of this Planned District.
- C. Parking Setbacks - No parking or internal access drive excluding points of ingress and egress, shall be located within the following setbacks.
1. Six (6) feet from the Lackland Road right-of-way.
  2. Fifteen (15) feet from the Westport Center Road right-of-way.
  3. Zero (0) feet from the southern and southwestern limits of this Planned District.
  4. Six (6) feet from the western limits of this Planned District.
- D. Access
1. Access to this development from Lackland Road shall be subject to the review and approval of MoDOT.
  2. Access to this development from Westport Center Drive shall be subject to the review and approval of the City Engineer.
- E. Building Design – The buildings shall be designed in accordance with Article 13, Building Design Standards, of the Zoning Code except as follows:
1. Buildings shall be generally consistent with the elevations submitted by the applicant for Application PDP23-0005 and included in the City Planner’s Report to the Planning Commission dated August 2, 2023. Substantial deviations shall be subject to the review and approval of the Planning Commission.
- F. Parking & Loading - Off-street parking and loading spaces shall be provided in accordance with Article 14, Parking and Loading Regulations.
- G. Signs - Signs shall be in accordance with Article 15, Sign Regulations, of the Zoning Code, except that a sign package in accordance with Section 25-15.3.B, Sign Package, may be submitted for the review and approval of the City Planner to allow additional and/or larger signs to properly identify the buildings and uses throughout the campus.
- H. Landscaping – Landscaping shall be provided in accordance with Article 16, Landscaping Design Standards, of the Zoning Code except as follows:
1. Landscaping shall be designed in a matter consistent with the plans submitted by the applicant for Application PDP23-0005 and included in the City Planner’s Report to the

Planning Commission dated August 2, 2023. Substantial deviations shall be subject to the review and approval of the Planning Commission.

2. The City Planner shall have the authority to allow further reductions in plant material to provide amenities such as outdoor seating areas or walking trails as approved on the Final Development Plan and/or Site Improvement Plans.

I. Environmental Standards

1. Every use, activity, process or operation on the site shall comply with Article 17, Environmental Standards, of the Zoning Code.
2. Storage and use of industrial gases or other potentially hazardous materials shall be subject to the review and approval of the Creve Coeur Fire Protection District and the Building Commissioner.

J. Exterior Lighting – New or replacement exterior lighting shall be in accordance with Article 18, Lighting Design Standards, of the Zoning Code.

K. Screening

1. Any new permanent electrical, telephone, data transmission and distribution lines shall be installed underground within the Planned District.
2. Dumpsters, recycling areas, mechanical equipment, emergency generators, above ground utility boxes or meters, and similar functional elements shall be screened from the adjoining public rights-of-way in accordance with the provisions of Section 25-25.4, Screening of Outdoor Storage, Mechanical Equipment, and Above Ground Utilities, of the Zoning Code.
3. The outdoor storage of materials occurring on the west and south sides of the existing building at the time of this Ordinance’s adoption shall be permitted.

L. Stormwater - Adequate provisions shall be made for the disposal of stormwater, in accordance with the specifications and standards of MSD and the City of Maryland Heights.

M. Sanitary Sewers - Sanitary sewer facilities shall be provided in accordance with the requirements of MSD.

**IV. MAINTENANCE**

- A. The building and site shall be maintained in accordance with the Property Maintenance Code.
- B. The landscaped areas shall be maintained in accordance with landscaping delineated on the Final Development Plan. Plant materials shall be replaced or replanted as determined by annual inspection of the site by the City Planner or his assigns.

**V. PLANNED DISTRICT LIMITATIONS**

Limitations regarding failure to commence construction, abandonment, and extension of development schedule shall be in accordance with the provisions of Section 25-6.14, Limitations, of the Zoning Code.

**VI. RIGHTS OF APPEAL**

In the event of a disagreement between any Developer and the City Planner and/or the City Engineer as to the criteria or conditions set forth in this ordinance and/or the Zoning Code, such disagreement shall be submitted to the Planning Commission for recommendation to the City Council, which shall make the decision on such disagreement, provided the Developer shall have the right to appeal such decision

pursuant to the City of Maryland Heights Zoning Code and to pursue any other available legal or equitable remedy.

**Section 4:** This Ordinance shall be in full force and effect from and after its passage and approval.

PASSED BY THE CITY COUNCIL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2023.

\_\_\_\_\_  
MAYOR/PRESIDING OFFICER

APPROVED BY THE MAYOR THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2023.

\_\_\_\_\_  
MAYOR

ATTEST:

\_\_\_\_\_  
CITY CLERK